



**The Town Of Clayton
Clayton Planning Board Agenda
Monday, July 25, 2016 @ 6:00 PM
Town Council Chambers**

1. CALL TO ORDER

2. ADJUSTMENT OF THE AGENDA

3. APPROVAL OF MINUTES

- a. [Planning Board Minutes - June 27, 2016](#)

4. REPORTS AND COMMENTS

5. OLD BUSINESS

6. NEW BUSINESS

- a. Clayton 115KV Substation Expansion Major Site Plan - 2016-116-SP
NC PIN / Tag #: 165920-80-2775 / 05022001 and portion of 165920-80-1674 / 05022002
The property is located on the southern corner of the intersection of South Fayetteville Street and US Hwy 70 Business. Address is 801 South Fayetteville Street.
The applicant is requesting to expand the existing Duke electric substation (minor utility).
[Staff Report - Clayton 115KV - 2016-116-SP](#)
[Staff Map - Clayton 115KV - 2016-116-SP](#)
[Application - Clayton 115KV - Major Site Plan 2016-116-SP](#)
[Owner's Consent Form - Clayton 115KV 2016-116-SP](#)
[Neighborhood Meeting Materials - Clayton 115KV 2016-116-SP](#)
[Site Plan - Clayton 115KV 2016-116-SP](#)
- b. Performance Glass Rezoning - 2016-121-RZ
NC PIN / Tag #: 164800-41-0562 / 05F02018E
The site is located off of NC 42 Hwy W, west of the intersection of NC 42 and Government Road.
The applicant is requesting to rezone the split-zoned parcel from B-3 and R-E to B-3.
[Staff Report - Performance Glass - Rezoning 2016-121-RZ](#)

[Staff Map - Performance Glass - Rezoning 2016-121-RZ](#)
[Application - Performance Glass - Rezoning 2016-121-RZ](#)
[Neighborhood Meeting Materials - Performance Glass - Rezoning 2016-121-RZ](#)

- c. Performance Glass Major Site Plan - 2016-120-SP
NC PIN / Tag #: 164800-41-0562 / 05F02018E
The site is located off of NC 42 Hwy W, west of the intersection for NC 42 and Government Road.

The applicant is requesting major site plan approval for an expansion of the outdoor storage yard and for a new building addition.

[Staff Report - Performance Glass - Major Site Plan 2016-120-SP](#)

[Staff Map - Performance Glass - Major Site Plan 2016-120-SP](#)

[Application - Performance Glass - Major Site Plan 2016-120-SP](#)

[Neighborhood Meeting - Performance Glass - Major Site Plan 2016-120-SP](#)

[Site Plan and Landscape Plan - Performance Glass - Major Site Plan 2016-120-SP](#)

7. INFORMAL DISCUSSION AND PUBLIC COMMENT

8. ADJOURN



**The Town Of Clayton
Clayton Planning Board Minutes
Monday, June 27, 2016 @ 6:00 PM
Town Council Chambers**

BOARD MEMBERS PRESENT:

Frank Price (ETJ) [Chairman], Bob Ahlert (TL) [Vice Chairman], George "Bucky" Coats (TL), James Lipscomb (ETJ), Jim Lee (ETJ), Marty Bizzell (ETJ), Ronald Johnson (TL), Sarah Brooks (TL), Michael Grannis (Mayor Pro-Tem), Bob Satterfield (Councilman).

STAFF PRESENT:

David DeYoung, Planning Director; Jay McLeod, Town Planner; John McCullen, Town Engineer; and Laura Gray, Clerk to Board.

1 CALL TO ORDER

- a) Frank Price called the meeting to order.
- b) David DeYoung, Planning Director, called roll.

2 ADJUSTMENT OF THE AGENDA

- a) None.

3 APPROVAL OF MINUTES

- a) May 23rd, 2016 Planning Board Minutes.

Motion: Bob Ahlert
Second: Sarah Brooks
Vote: Unanimous

4 REPORTS AND COMMENTS

- a) None.

5 OLD BUSINESS

- a) None.

6 NEW BUSINESS

- a) Dairy Road Church 2016-96-SP - Major Site Plan
NC Pin: 165811-67-4218 / Tag ID: 05H03197G
The site is located at the southern corner of Barber Mill Road and Dairy Road.

The applicant is requesting Major Site Plan approval for a new church to be located on a vacant parcel of land.

The use of a church requires a Conditional Use Permit from the Board of Adjustment in order to be permitted in the subject property's zoning district (R-10). The Town's Board of Adjustment approved the applicant for a Conditional Use Permit (2016-95-CUP, approved with conditions) during their June 15, 2016 meeting.

Jay McLeod, Town Planner, presented Dairy Road Church to the Planning Board. Mr. McLeod stated the applicant is requesting Major Site Plan approval for a 7,500 square foot church, along with a potential playground, to be developed on 1.74 acres of vacant land. There will be six classrooms within the church, and the sanctuary will be 2,940 square feet in size.

Mr. McLeod stated the proposed use is consistent with the Future Land Use of the Comprehensive Plan 2040. Churches are a complimentary and supportive use to the residential in the area.

The proposed development meets the requirements in the Unified Development Code (UDC).

Mr. McLeod noted a Class C landscape buffer is required at the eastern and southern borders, along property lines abutting residential. A Class A landscape buffer is required along Barber Mill Road. Additionally, all parking areas are required to be screened with shrubs from the public rights-of-way.

As the site plan is currently drawn, there are some parking areas that encroach into the required landscape buffers. This is not permitted and, as part of the Conditions of Approval placed on the Conditional Use Permit for the site, shall be corrected prior to final approval.

The parking layout of the site consists of two hammerhead parking areas. Hammerhead parking is not preferred by staff due to concerns regarding traffic flow. As part of the approval of the Conditional Use Permit, the Board of Adjustment approved a Condition of Approval that a striped turn-around space shall be provided at the end of each hammerhead for safety purposes. This shall be corrected on the site plan prior to final approval.

Sidewalks will be provided along Barber Mill Road and Dairy Road. Access from these sidewalks will be provided via sidewalk connections inside of the site. As part of the Conditions of Approval placed upon the Conditional Use Permit by the Board of Adjustment, the applicant shall provide a sidewalk connection from Barber Mill Road to connect through the southern portion of the site to the sidewalk adjacent to the playground area.

Mr. McLeod stated the materials proposed for the structure by the applicant consist of brick siding. The neighboring property, a medical office located directly north, also consists of brick, and has a covered entrance feature. As

the church was originally submitted, the applicant was proposing metal siding to be used for the structure.

Mr. McLeod noted since this did not meet the architectural character of the neighboring properties, the Board of Adjustment placed a condition upon the Conditional Use Permit stating that metal siding shall not be used for the walls, and final elevations shall meet the approval of Planning Board for quality materials and architectural design.

Mr. McLeod stated that staff recommends additional architectural features are necessary to break up the monotony of the proposed elevations. Staff would like to see the proposed building architecturally compatible with surrounding offices and buildings.

Staff recommended approval with conditions of the proposed Major Site Plan.

David DeYoung, Planning Director, stated the Major Site Plan can be approved tonight and the architectural elevations can be tabled until they are adequate to receive Planning Board approval.

Frank Price called on the applicant.

Curk Lane, True Line Surveying, came forth to represent the applicant.

Mr. Lane stated the applicant is in a due diligence period of purchasing the property. The applicant is content with two separate approvals. One approval of Major Site Plan and future approval of the architectural elevations. The purchase of the proposed site is contingent on Major Site Plan approval.

Michael Grannis, Mayor Pro-Tem, asked for clarification on who would approve the architectural elevations.

Mr. McLeod stated the Planning Board will approve the architectural elevations.

Curk Lane clarified the applicant would like Major Site Plan approval tonight and come back in the future for architectural elevation approval.

Mr. Price stated the Planning Board will vote on the Major Site Plan and table the architectural elevation for future approval.

The following Conditions of Approval were placed on the associated Conditional Use Permit (2016-95-CUP) and shall be applied to this site plan:

1. If approved by the Planning Board, three copies of the final site plan meeting the Conditions of Approval shall be submitted to the Planning Department for final approval.
2. The conditions of approval for both the Conditional Use Permit and the Major Site Plan (if applicable) shall be recorded on the cover sheet of the final

site plan.

3. Development fees shall be paid prior to building permit issuance.
4. The site plan shall conform to the standards for non-residential development in a Residential-10 zoning district.
5. The elevations of the building shall be designed to meet or exceed the design standards of the surrounding buildings, including dormers to break up the roof line, architectural treatments along the façade, and upgraded materials
6. Metal siding shall not be used for the walls. Final elevations shall meet the approval of Planning Board for quality materials and architectural design.
7. Sidewalk(s) shall be provided along at least one side of the entrance drive, to provide direct access to the entrance to the building.
8. A sidewalk connection shall be made through the southern portion of the site, connecting the sidewalk along Barber Mill Road to the sidewalk along the western portion of the playground area.
9. The sidewalk connections from the exterior sidewalk along Barber Mill Road and Dairy Road shall connect to the site through a landscape island, rather than through a parking space.
10. All landscape islands shall meet the required minimum areas as specified in the UDC.
11. Any required stormwater management features shall be shown on the site and landscaping plans, and a detail drawing shall be provided on the plans.
12. Parking areas shall not encroach into the required landscape buffers.
13. Wheelstops shall be provided in appropriate locations, where parking areas abut 5' wide sidewalk.
14. Hammerhead turnouts in the parking area shall be widened to match the aisle width.
15. The end of each hammerhead area shall have a striped (no parking) turn-around space. The applicant shall explore the realignment of the parking lot along Barber Mill Road.
16. Parking spaces shall not be larger than 10' x 20' without approval of the Planning Department.
17. All signs shall require a separate sign permit to be approved by the Planning Department.

Conditions of Approval added by Planning Board:

18. The applicant shall explore the realignment of the parking lot along Barber Mill Road such that it runs parallel.
19. Site plan approval is contingent upon final Planning Board approval of architectural elevations, which is not part of the June 27th approval.

ACTION: Motion to approve Major Site Plan (2016-96-SP) with modified conditions. Subject to future approval of architectural elevations.

Motion: George "Bucky" Coats
Second: Bob Ahlert
Vote: Unanimous

- b) First Street Tavern 2016-88-SUP - Special Use Permit

NC PIN:166913-03-6023 / Tag ID: 05015016

The project site is located at 115 First Street, behind Four Oaks Bank and near the corner of First Street and Fayetteville Street.

The applicant is requesting a Special Use Permit to operate a tavern in an existing structure.

Jay McLeod, Town Planner, presented First Street Tavern to the Planning Board.

Mr. McLeod stated the applicant is requesting a Special Use Permit to operate a tavern in an existing building located within the B-1 zoning district. As it currently exists, the structure is utilized for office use and retail use. If approved, the office use will remain but will only operate in 617 square feet of the second story and the retail use will operate roughly 700 square feet of the structure. The tavern is proposed to be located on the first story, and will have approximately 32 seats.

Mr. McLeod stated the tavern will utilize 9 gravel parking spaces within the railroad right-of-way. General downtown parking shall also be utilized, and there is a parking agreement for the tavern to utilize the handicap parking space located at Four Oak Banks. The main entrance to the building will be on First Street. Handicap access will be in the back via an existing handicap ramp.

This existing historical structure is within the Downtown Overlay District, and is subject to somewhat relaxed parking requirements due to the existing development pattern and the pedestrian-oriented nature of the downtown.

Mr. McLeod noted buffering is not needed based on surrounding zoning. The applicant meets the 20% interior landscape requirements, and will not be making any changes to the site's landscaping.

The proposed development is consistent with the Comprehensive Plan Future Land Use Map and meets the requirements of the Unified Development Code (UDC).

Mr. McLeod stated the applicant has an associated Minor Site Plan (2016-87-SPM) running concurrent with the Special Use Permit request.

Staff recommended approval with conditions.

Frank Price asked if the building was up to current code.

Mr. McLeod stated the applicant has been working on the process.

Curk Lane with True Line Surveying, 205 W. Main Street, represented the applicant.

No questions for Mr. Lane.

David Schearer, the applicant, of 115 First Street came forth to answer any additional questions.

Michael Grannis asked if the Health Department would require the tavern to have more than one restroom.

Mr. Schearer stated the Health Department is only requiring one restroom.

No further questions for the applicant.

Staff recommend approval of the Special Use Permit with the following conditions:

1. The development of the site is limited to the site design and uses approved by the Planning Board. Modifications to the approved site plan shall require review and approval in accordance with Section 155.707 of the Unified Development Code.
2. Following Board approvals, three copies of the Final Site Plan, Landscape Plan and Architectural Elevations meeting the requirements of the Conditions of Approval and displaying the Conditions of Approval shall be submitted to Planning Department for final approval.
3. All roof mounted and ground mechanical equipment must be completely screened from view, including but not limited to HVAC, electric, and grease traps.
4. Utility, development, and/or wastewater fees shall be paid to the Town prior to issuance of any Zoning Compliance Permit.
5. Any expansion of the cocktail lounge use beyond the approved 32 seats or expansion of outdoor seating areas shall require review as appropriate per §155.711(K) "Modifications to approved Special Use Permits" and/or §155.707 "Site Plan Review".
6. The monument sign on site shall be brought into compliance with the UDC by the installation of a landscaped bed around its base.
7. A final landscape/site inspection shall be performed by the Planning Department prior to the issuance of a Certificate of Occupancy.

Condition of approval added by Planning Board:

8. The applicant and site shall comply with the requirements of the Johnston County Health Department.

ACTION: Motion to recommend approval of the Special Use Permit (2016-88-SUP) with modified conditions to Council.

Motion: Sarah Brooks
Second: Ronald Johnson
Vote: Unanimous

7 INFORMAL DISCUSSION AND PUBLIC COMMENT

- a) No public was present at this meeting.

8 ADJOURN

- a) Motion to adjourn.

Motion: James Lipscomb
Second: Frank Price
Vote: Unanimous

Frank Price
Chair

ATTEST:

Laura Gray
Clerk to the Board



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
July 25, 2016

STAFF REPORT

Application Number: 2016-116-SP
Project Name: Clayton 115kV Electric Substation Expansion

NC PIN / Tag #: 165920-80-2775 / 05022001, and a portion of 165920-80-1674 / 05022002
Location: The property is located on the southern corner of the intersection of South Fayetteville St and US Hwy 70 Business (see map).
Address: 801 S. Fayetteville Street.
Town Limits/ETJ: Town
Overlay: Thoroughfare Overlay District
Applicant: Dewberry Engineers, Inc., c/o Samuel Nye (snye@dewberry.com)
Owner: Duke Energy Progress, LLC (aka "DEP")

Public Noticing:

- Neighborhood meeting July 06, 2016
- Sign posted July 15, 2016

REQUEST: The applicant is requesting to expand the existing Duke electric substation (minor utility).

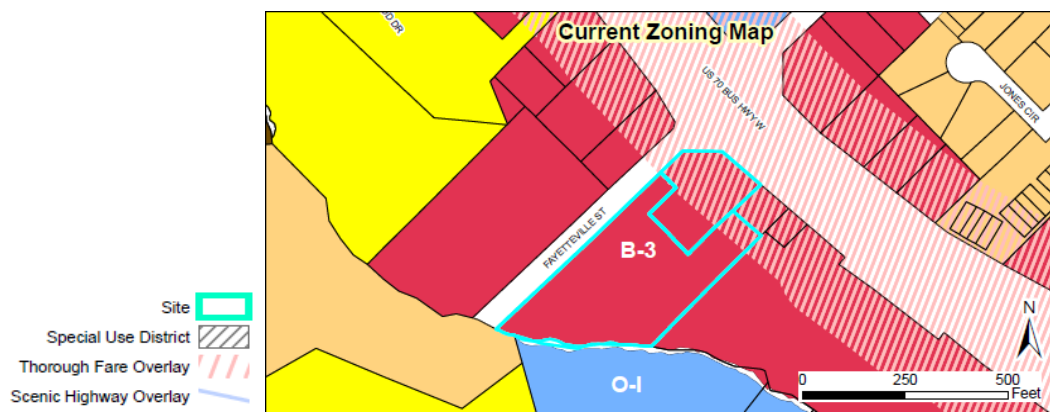


SITE DATA:

Acreage: 1.30 acres (area of disturbance), 3.82 total site acres
Present Zoning: Highway Business (B-3)
Proposed Zoning: Highway Business (B-3)
Existing Use: Utility, Minor (Electrical Substation)

ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Highway Business (B-3)	Commercial
South	Office Institutional (O-I)	Vacant
East	Highway Business (B-3)	Commercial
West	Highway Business (B-3)	Commercial

**DEVELOPMENT DATA:**

Proposed Uses: Utility, Minor (Electrical Substation)
Impervious Surface: 14% existing + 5% proposed = 19%
Building(s): 312 square foot existing utility enclosure
Access/Streets: Access is provided off of South Fayetteville Street
Overlay District: Thoroughfare Overlay
Fire Protection: Town of Clayton Fire Department

STAFF ANALYSIS AND COMMENTARY:

Overview

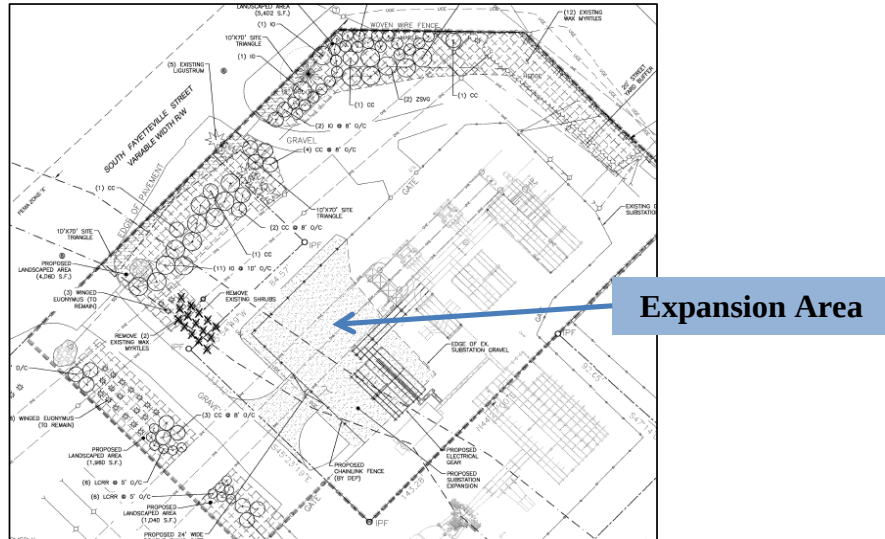
The applicant is requesting Major Site Plan approval to expand the existing Duke Substation located on the subject properties in order to serve Duke's electrical customers. The proposed expansion involves installing new electrical feeder bays, which will be 85' wide by 65' long. The portion of the subject property that is part of this expansion will be gravel and enclosed within a new chain link fence. The new expansion area will connect to the site's existing driveway entrance located off of South Fayetteville Street. Additionally, the applicant is also proposing to install landscaping along South Fayetteville Street in order to provide required screening.

Consistency with Adopted Plans:

- **Comprehensive Plan 2040**
The request is consistent with the Comprehensive Plan, and the expansion is a use that supports the existing and future development in the area.
- **Unified Development Code**
The proposed development is consistent with the Unified Development Code (UDC).

Compatibility with Surrounding Land Uses

The site is located off of Hwy 70 and is adjacent to commercial uses, and vacant parcels of land. The existing use of the site is considered "Utility, Minor", and serves both Duke Energy and the Town of Clayton. The expansion of the Duke Substation would not affect the compatibility of the property's use with surrounding land uses, since the use is an existing use on the subject property.



The Clayton CCC Pedestrian Connector greenway will run along the south of the property, along the Little Creek floodplain. The expansion of the electrical substation will not adversely affect the greenway.

Landscaping and Buffering

The site currently has an existing hedge row and some shrubs located along Hwy 70 in order to provide screening of the site. There is also some existing landscaping located along the property line along South Fayetteville Street. As part of the proposed expansion, the applicant is proposing to install additional landscaping along South Fayetteville Street in order to ensure proper screening of the site. The landscaping consists of over 40 trees and 35 shrubs.

By their very nature, electrical substations and associated electrical transmission lines have restrictions regarding landscaping. Improperly chosen trees can grow up into power lines or impede operation of equipment. For instance, Duke / Progress does not allow plantings of trees that will be larger than 12' under their lines. Due to the overhead powerlines, the applicant is proposing understory trees instead of canopy trees as part of their landscaping plan. Staff is in agreement with this change, and that it meets the intent of the Code with regard to landscape screening.

Access/Streets

The main access into the site is located off of South Fayetteville Street via a gravel driveway. The applicant is proposing that the new expansion connect to this gravel driveway for access.

CONSIDERATIONS

- The Planning Board approves major site plans.

STAFF RECOMMENDATION:

Staff is recommending approval with conditions of the Major Site Plan.

CONDITIONS:

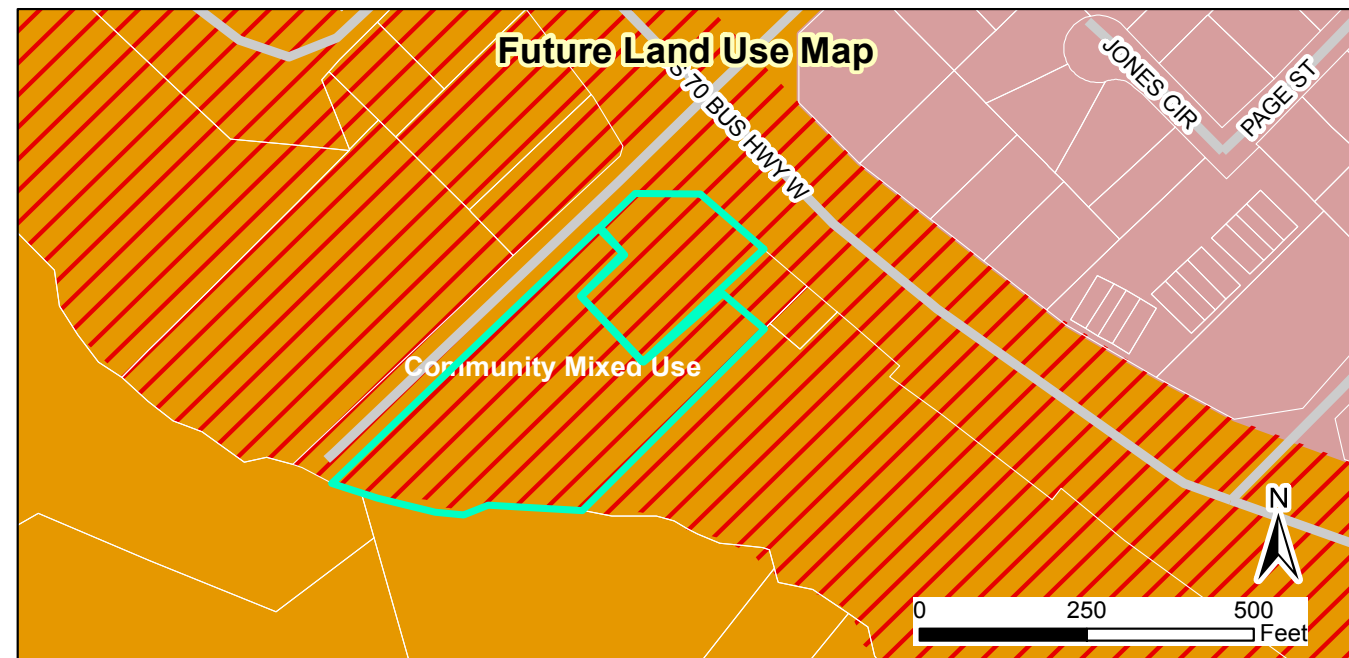
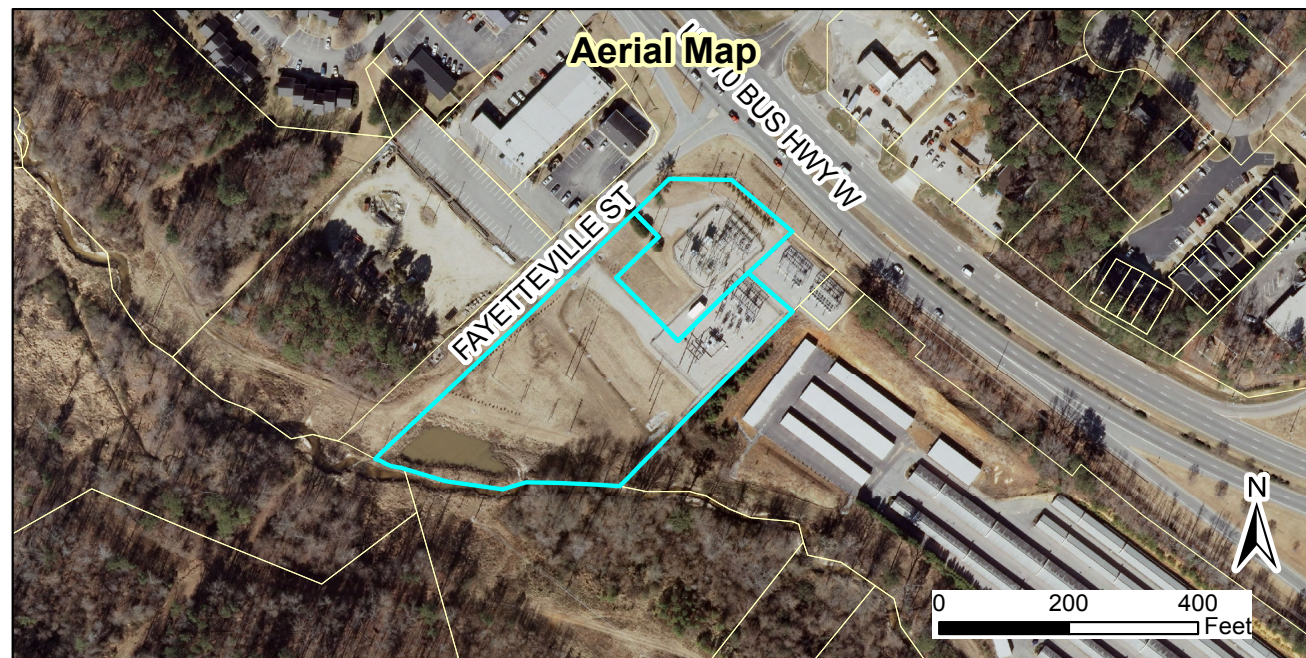
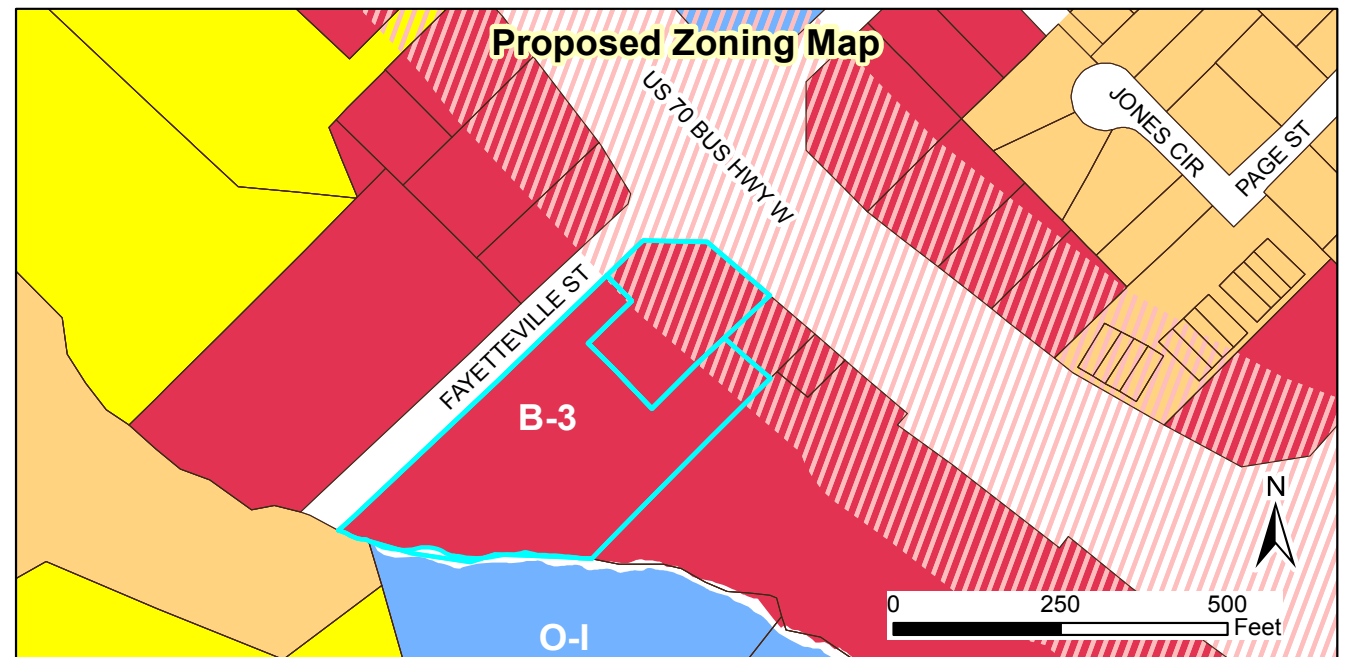
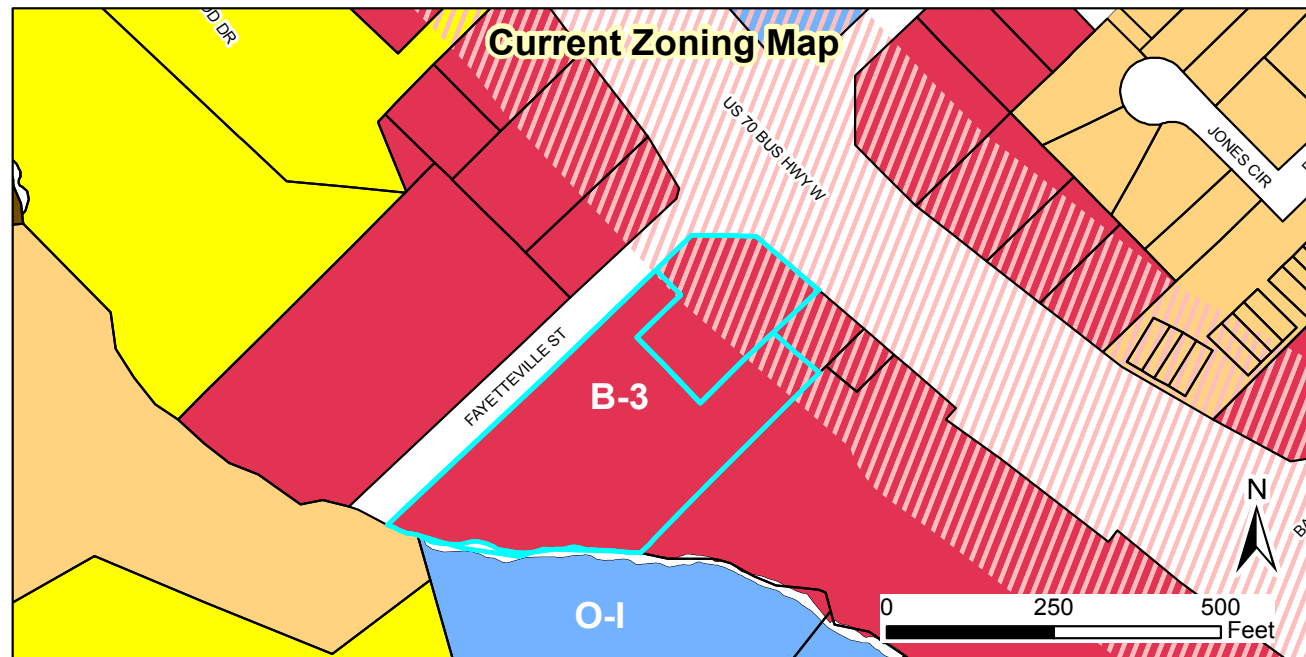
If approved, staff recommends the following conditions be applied to the approval of the preliminary subdivision plan:

1. The development of the site is limited to the site design and uses approved by the Planning Board. Modifications to the approved site plan shall require review and approval in accordance with Section 155.707 of the Unified Development Code.
2. Following Board approvals, three copies of the Final Site Plan, Landscape Plan and Architectural Elevations meeting the requirements of the Conditions of Approval shall be submitted to Planning Department for final approval.
3. A Zoning Compliance Permit shall be required prior to issuance of any building permits.
4. A site/landscape inspection by the Planning Department shall be required prior to issuance of a certificate of occupancy. All site improvements shall be installed prior to the site inspection.

ATTACHMENTS:

- 1) Staff Report Maps

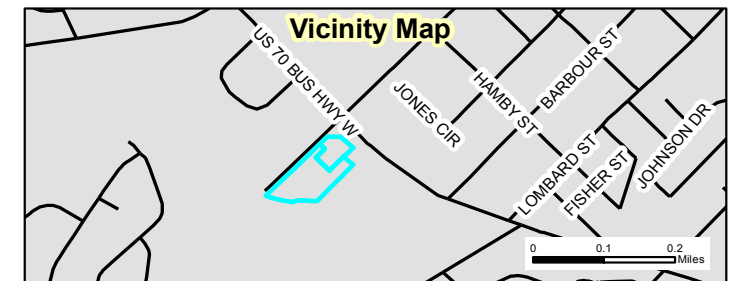
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Site Plan



2016-116-SP Clayton 115kV Substation Expansion
Request: To expand the existing Duke substation
 Applicant: Dewberry Engineers Inc.
 Property Owners: Duke Energy Progress, LLC
 Parcel ID: 165920-80-2775 and 165920-80-1674
 Tag #: 05022001 and 05022002



- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay



Document Path: O:\PLANNING\SITE PLANS\Major Site Plans\2016\2016-116-SP Clayton 115KV Substation Expansion\Maps\2016-116-SP Duke Clayton Substation Site Plan.mxd



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

MAJOR SITE PLAN APPLICATION

Pursuant to Article 7, Section 155.707 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Planning Board to approve a Major Site Plan application. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fee: \$500.00 + \$5.00 per acre. *All fees are due when the application is submitted.*

SITE INFORMATION

☒ New Major Site Plan

☐ Major Modification to an approved site plan

Project Modified: _____

Name of Project: Clayton 115kV Substation Expansion
Addition of 5th Feeder Bay Acreage of Property: 0.95 Ac

County Tag #: 05022001 NC PIN: 165920-80-2775

Address/Location: 801 S. Fayetteville Street
Clayton, NC 27520

Existing Use: Minor utility Proposed Use: Minor Utility

Zoning District: B-3 Business

Is project within a Planned Development? ☒ No

☐ Yes (list): _____

Is project within an Overlay District? ☐ No

☒ Yes (list): Thoroughfare Overlay District

FOR OFFICE USE ONLY

RECEIVED JUN 01 2016 TOWN OF CLAYTON PLANNING DEPARTMENT	Date Received:	Amount Paid: <u>\$505.00</u>	File Number: <u>2016-116-SP</u>

PROPERTY OWNER INFORMATION

Name: Duke Energy Progress, LLC (DEP)
Mailing Address: 410 South Wilmington Street Raleigh, NC 27601
Phone Number: 919-546-3459 Fax: n/a
Email Address: reuben.jonesiii@duke-energy.com

APPLICANT INFORMATION

Applicant: Dewberry Engineers, Inc.
Mailing Address: 2610 Wycliff Road Ste 410 Raleigh, NC 27607
Phone Number: 919-425-7617 Fax: n/a
Contact Person: Samuel R. Nye
Email Address: snye@Dewberry.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:			To be completed by staff:		
Submit 9 copies of all materials unless otherwise noted or directed by staff	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: <u>5/4/16</u>	☒	☐			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	☒				
3. Site Plan Review Fee (\$500 + \$5/acre)	☒				
4. Completed application	☒				
5. Owner's Consent Form	☒	☐			
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i>	☒	☐			
7. Adjacent property owners list	☒	☐			
8. Wastewater allocation request OR verification of wastewater allocation	☐	☒			
9. Signed and sealed traffic impact analysis (2 copies) (required for projects which generate at least 100 vehicle trips at peak hour. See §155.708 of the UDC)	☐	☒			
10. Neighborhood meeting notice letter (1 copy)* See sample letter and meeting requirements included in this packet *Not required for subdivisions that are part of an approved planned development	☒	☐			
11. Neighborhood meeting summary form (1 copy)* Included in this packet *Not required for subdivisions that are part of an approved planned development	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

EXPLANATION OF PROJECT

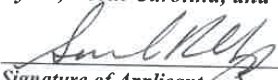
Please provide detailed information concerning all requests. Attach additional sheets if necessary.

Duke Energy Progress (DEP) seeks to expand it's existing substation at 801 S. Fayetteville Street to serve existing electric service customers. The proposed expansion is 85' wide by 65' long average. New electrical feeder bays will be installed inside the expansion area. The expansion will be fenced in and gravel will be the ground cover. A small gravel access will tie to the existing site drive off of S. Fayetteville Street. One new in-line utility pole will run from the existing overhead feeders underground to the new equipment. Landscape screening is proposed along the western border with S. Fayetteville Street.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Samuel R. Nye
Print Name


Signature of Applicant

5/27/16
Date

ADJACENT PROPERTY OWNERS LIST

Project Name: Clayton 115 kV Substation Expansion Addition of 5th Feeder Bay

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
165920-80-1276	Millenium Developments	301 Pinner Weald Way STE 201, Cary, NC 27511
165920-80-0899	Matthews, Timothy S	11133 Hwy 70 West, Clayton, NC, 27520
165807-79-2555	Johnston County Board of Education	PO Box 1336, Smithfield, NC 27577
165920-70-7649	Town of Clayton	-
165919-70-4643	Elington Homeowners Association Inc.	129 Sleepy Creek Dr., Clayton, NC 27520
165920-80-2775	Carolina Power & Light	PO Box 1551, Raleigh, NC 27602
165920-80-4689	Town of Clayton	231 E Second St, Clayton, NC 27520
165920-80-4713	Carolina Power & Light	PO Box 1551, Raleigh, NC 27602
165920-80-8332	PS NC I LP	701 Western Ave, Glendale, CA 91201



**Town of Clayton
Planning Department**

111 E. Second Street, Clayton, NC 27520

P.O. Box 879, Clayton, NC 27528

Phone: 919-553-5002

Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Clayton 115 kV Substation Expansion
Project Name: Addition of 5th Feeder Bay Address or PIN #: 801 S. Fayetteville Street

AGENT/APPLICANT INFORMATION:

Samuel R. Nye
(Name - type, print clearly)

2610 Wydiff Road Ste 410
(Address)
Raleigh NC 27607
(City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests below*):

Major Site Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

(Name - type, print clearly)

(Address)

(Owner's Signature)

(City, State, Zip)

STATE OF
COUNTY OF

Sworn and subscribed before me _____, a Notary Public for the above State and County, this
the _____ day of _____, 20_____.

SEAL

Notary Public
My Commission
Expires: _____

August 2015

Page 9 of 9



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Clayton 115 kV Substation Expansion

Project Name: Addition of 5th Feeder Bay Address or PIN #: 801 S. Fayetteville Street

AGENT/APPLICANT INFORMATION:

Samuel R. Nye of 2610 Wycliff Road Ste 410
(Name - type, print clearly) Dewberry Engineers (Address)
for Duke Energy Progress Raleigh NC 27607
(City, State, Zip)
(applicant)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests below):

Major Site Plan

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Rodney N. Hutcherson 410 S. Wilmington St.
(Name - type, print clearly) (Address)
[Signature] Raleigh, NC 27601
(Owner's Signature) (City, State, Zip)

STATE OF North Carolina
COUNTY OF Franklin

Sworn and subscribed before me Patty Lyn Bowers a Notary Public for the above State and County, this
the 1st day of June, 2016.

SEAL



August 2015

Patty Lyn Bowers
Notary Public
My Commission
Expires:

November 21, 2020

Page 9 of 9



Dewberry Engineers Inc.
2610 Wycliff Road, Suite 410
Raleigh, NC 27607

919.881.9939
919.881.9923 fax
www.dewberry.com

6/23/16

Dear Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use change or development proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a Neighborhood Meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: July 6th, 2016

Meeting Time: 6 pm to 7 pm

Meeting Location: Clayton Town Hall

Type of Application: Major Site Plan

Project/proposal property address: 801 South Fayetteville Street, Clayton, NC 27520

Description of project/proposal: Duke Energy Progress (DEP) seeks to expand its existing substation S. Fayetteville Street to serve existing electric service customers. The proposed expansion is 85' wide by 65' long average. New electrical feeder bays will be installed inside the expansion area. The expansion will be fenced in and gravel will be the ground cover. A small gravel access will tie to the existing site drive off of S. Fayetteville Street. One new in-line utility pole will run from the existing overhead feeders underground to the new equipment. Landscape screening is proposed along the western border with S. Fayetteville Street and the southern access drive.

Upcoming public meetings for this

Application (Planning Board) July 25th, 2016

At a minimum, the following will be available for your inspection at the Neighborhood Meeting:

1. A copy of the project application.
2. A schedule of all upcoming public meetings for the application.
3. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
4. A map, drawing, or other depiction of the proposed land use change or development proposal.

A map is enclosed with this letter showing the location of the property that is subject to this application for land use change and/or development proposal.



Dewberry Engineers Inc.
2610 Wycliff Road, Suite 410
Raleigh, NC 27607

919.881.9939
919.881.9923 fax
www.dewberry.com

If you have any questions prior to or after this meeting, you may contact us at 919-425-7617. You may also contact the Planning Department at 919-553-5002.

Sincerely,

Dewberry Engineers, Inc.

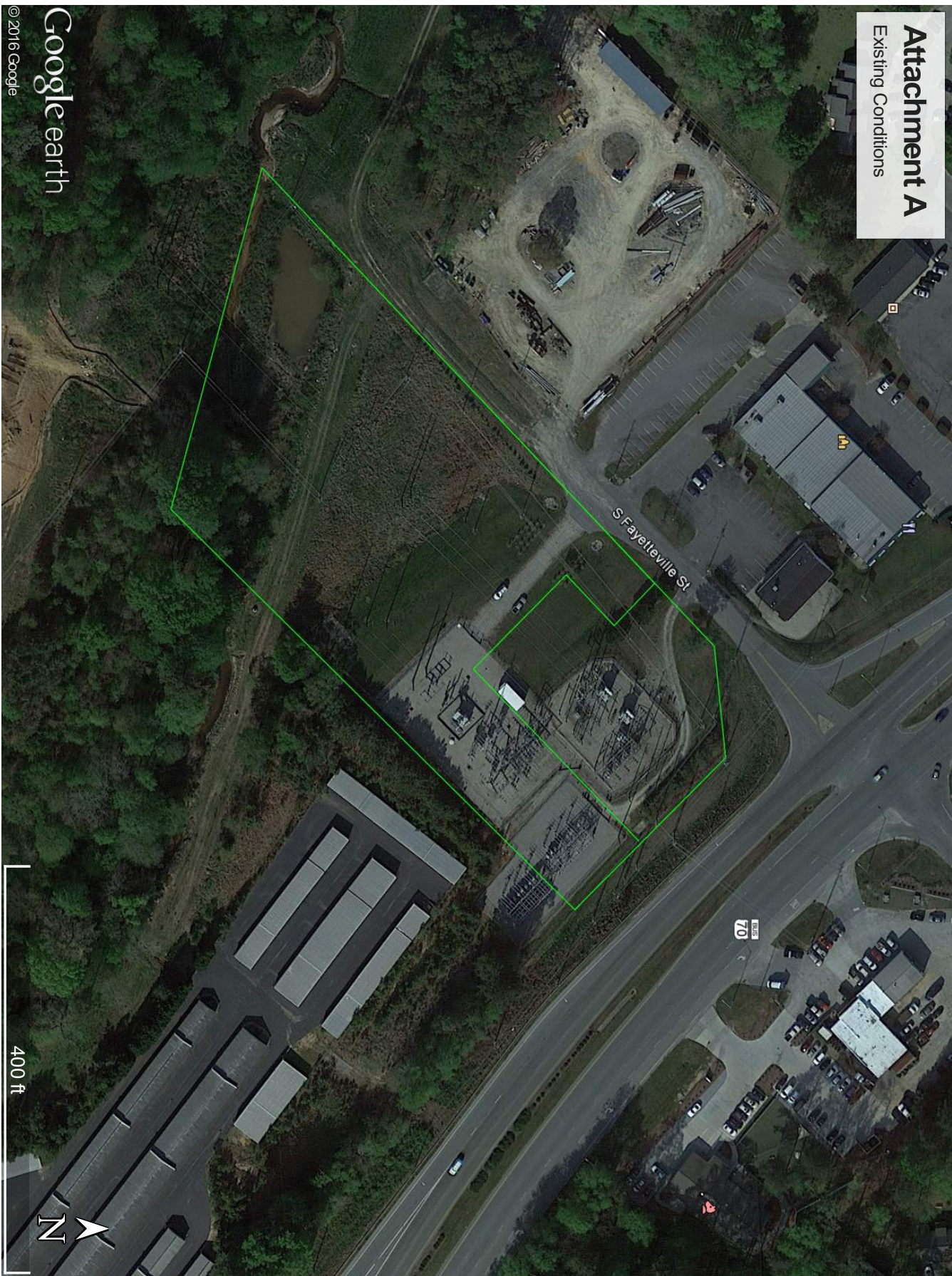
A handwritten signature in black ink, appearing to read "Sam Nye", written over a horizontal line.

Samuel R. Nye, PE
Sr. Project Manager

Attachment A: Existing Conditions
Attachment B: New Expansion Area

Cc: Jay McLeod, Planner
Town of Clayton Planning Department

Attachment A
Existing Conditions



Google earth
© 2016 Google

Attachment B
New Expansion Area

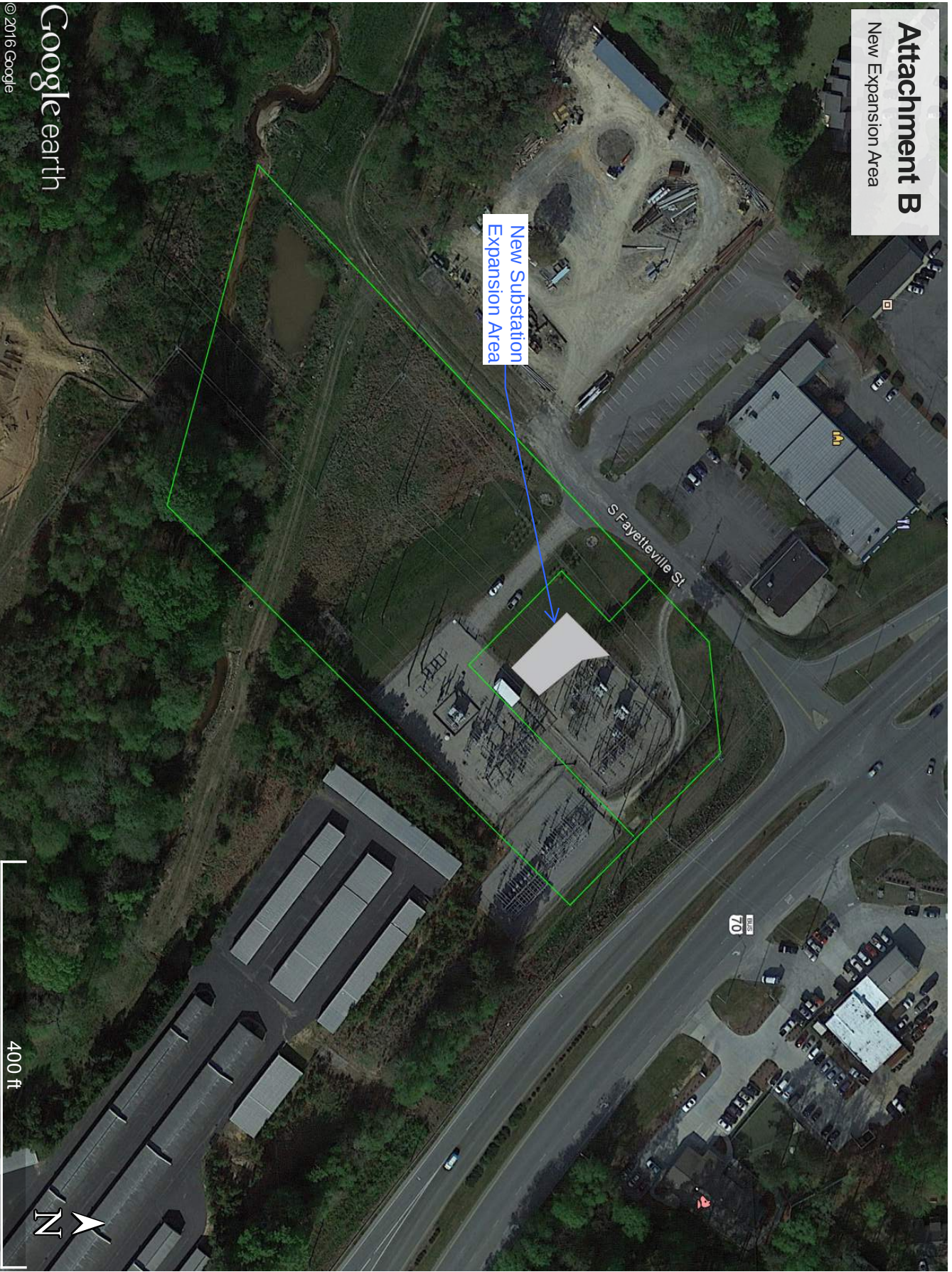
New Substation
Expansion Area

S Fayetteville St

US 70

Google earth
© 2016 Google

400 ft



Neighborhood Meeting Mailing List					
Project: Clayton Substation Expansion					
Application: 2016-116-SP					
Location/Date: Clayton Town Hall / July 6, 2016					
NC PIN	Owner Name	Mail Address	City	State	Zip
165920-80-8332	PS NC I LP	701 Western Ave	Glendale	CA	91201
165920-80-4689	Town of Clayton	PO Box 879	Clayton	NC	27528
165920-80-0899	Timothy S & Lynn A Matthews	11133 Hwy 70 West	Clayton	NC	27520
165920-81-5067	Thomas F & Judy A Bagley	7501 Lead Mine Rd Apt 202	Raleigh	NC	27615-4825
165920-81-3341	Johnston Co. Board of Education	PO Box 1336	Smithfield	NC	27577-1336
165920-80-6968	Michael B Bagley	PO Box 668	Clayton	NC	27520-0668
165919-70-4643	Ellington Homeowners Assoc Inc	129 Sleepy Creek Dr	Clayton	NC	27520
165919-70-0488	Tracy L & Heather L Orner	15 Saxon Pl	Batesburg	SC	29006-8403
165919-70-1118	Ava D Strickland	100 Meadow Run	Clayton	NC	27520
165807-79-2555	Johnston Co. Board of Education	PO Box 1336	Smithfield	NC	27577-1336
165919-60-8087	Frank J & Lisa H Dziepak	112 Sleepy Creek Dr	Clayton	NC	27520
165919-70-1017	Darryl A & Connie B Jackson	5321 Fox Pointe Dr	Knightdale	NC	27545
165919-60-8255	H Douglas & Pamela Johnson living Trust	97 Sleepy Creek Dr	Clayton	NC	27520
165919-60-9321	Eva Marie & Steven M Owens	93 Sleepy Creek Dr	Clayton	NC	27520
165919-60-9400	Kenneth R & Janet L Adams	89 Sleepy Creek Dr	Clayton	NC	27520
165919-60-9816	Orlando Luis & Ashley Hines Rodriguez	62 Sleepy Creek Dr	Clayton	NC	27520
165919-60-9870	2015 1 IH2 Borrower LP	1717 Main St Ste 2000	Dallas	TX	75201-4657
165919-70-0701	Frederick Donnell & Sharon Barker Lockamy	70 Sleepy Creek Dr	Clayton	NC	27520
165920-80-1276	Millenium Developments LLC	301 Pinner Weald Way Ste 201	Cary	NC	27513-2618
165919-60-8200	James R & Ginger T Levinson	PO Box 117	Benson	NC	27504
165919-60-7145	Johnny W & Amanda G Scott	105 Sleepy Creek Dr	Clayton	NC	27520-7410
165919-70-0623	Steven A & Carol Raubenheimer	74 Sleepy Creek Dr	Clayton	NC	27520-7238
165919-70-0623	Steven A & Carol Raubenheimer	74 Sleepy Creek Dr	Clayton	NC	27520-7238

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: Clayton 115 kV Substation Expansion

Application: 2016-116-SP

Location/Date: Town Hall Clayton 7/6/2016

	NAME	ADDRESS
1	Reuben Jones	Duke Energy Trans. 410 S. Wilmington St Raleigh, NC
2	Andrew Gilmore	Duke Energy " "
3	Marty Clayton	Duke ENERGY " "
4	Sam Nye	4610 Wycliff Rd Dewberry Raleigh NC 27607
5	BETH STEFFENS	DENBERRY "
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

NEIGHBORHOOD MEETING SUMMARY FORM

FILL OUT THE FOLLOWING:

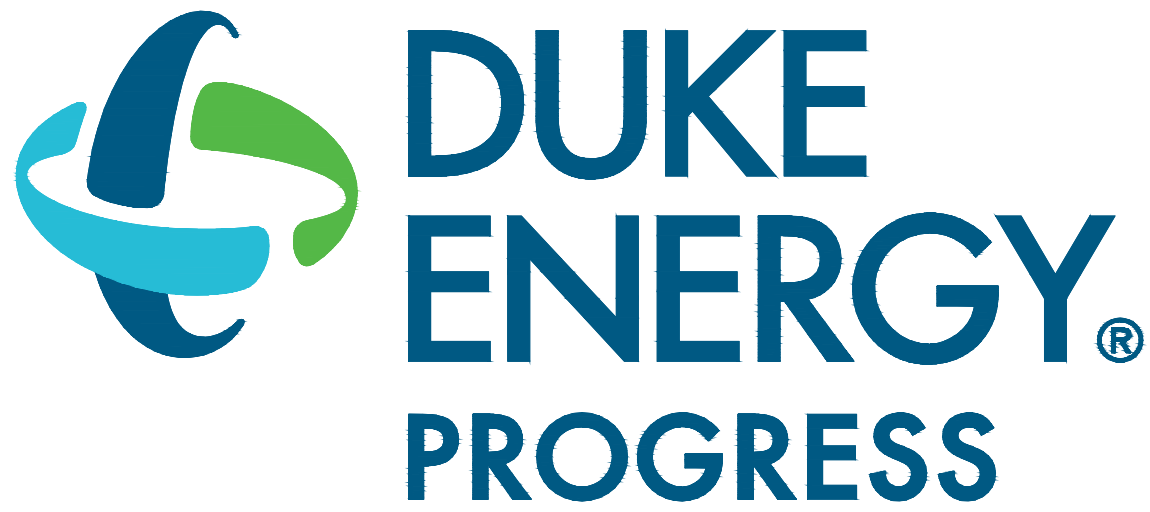
Application: 2016-116-SP
Date of Mailing: 6/23/16
Date of Meeting: 7/6/16 Time of Meeting: 6-7 pm
Location of Meeting: Town of Clayton Town Hall
I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached) ten days prior to the Neighborhood Meeting, and that all required information was presented at the Meeting:
Printed Name: Samuel R. Nye Signature: Sam R. Nye

Meeting Summary/Minutes: provide a summary of the discussion held at the meeting, including issues raised and any resolution discussed, and any changes made to the application as a result of the meeting.

NO ONE FROM NEIGHBORHOOD ATTENDED THE MEETING. TWO REPRESENTATIVES FROM DEWBERRY AND THREE REPRESENTATIVES FROM DUKE ENERGY PROGRESS WERE PRESENT WITH SITE PLANS & LANDSCAPE PLANS AND PREPARED TO DISCUSS THE PROJECT.

- NO ISSUES WERE RAISED
- NO CHANGES MADE AS RESULT OF MTG.
- NO ~~AT~~ NEIGHBORHOOD ATTENDEES
(see attendance roster)

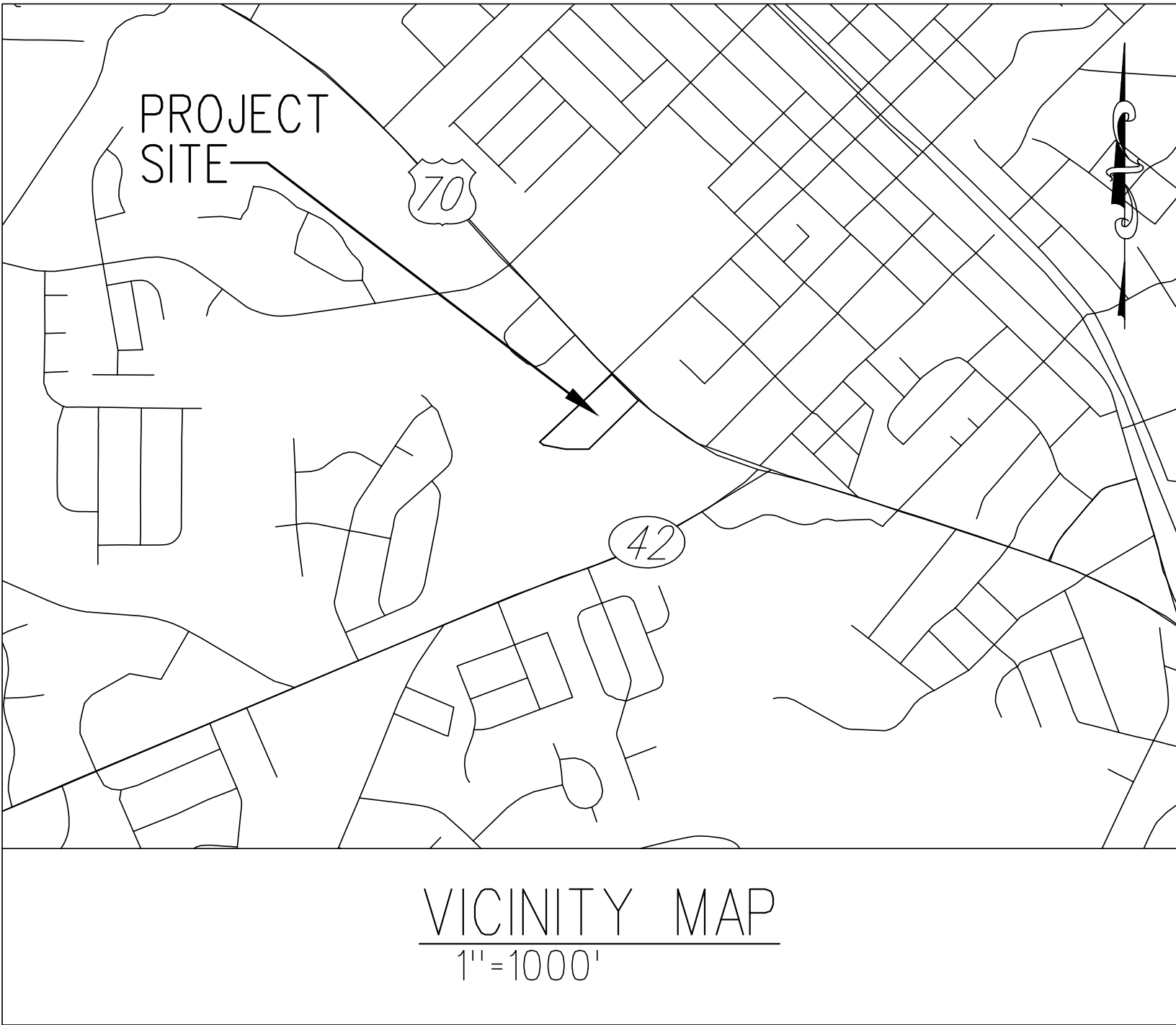
Please write clearly (or submit a typed summary). Use additional sheets if necessary.



CLAYTON 115KV SUBSTATION EXPANSION
ADDITION OF 5TH FEEDER BAY
805 S.FAYETTEVILLE ST, CLAYTON, JOHNSTON COUNTY, NORTH CAROLINA 27520
TOWN OF CLAYTON # 2016-116-SP
LATITUDE: N 35°38'51"
LONGITUDE: W 78°28'02"

PROJECT INFORMATION	
LANDOWNER	DUKE ENERGY PROGRESS, LLC (DEP) 410 SOUTH WILMINGTON STREET RALEIGH, NC 27601 PH: 919.546.6123
ENGINEER	DEWBERRY ENGINEERS INC. 2610 WYCLIFF ROAD, SUITE 410 RALEIGH, NC 27607 PH: 919.881.9939
SURVEYOR	DEWBERRY ENGINEERS INC. 2610 WYCLIFF ROAD, SUITE 410 RALEIGH, NC 27607 PH: 919.881.9939
EXISTING USE	MINOR UTILITY
PROPOSED USE	MINOR UTILITY
EXISTING BUILDING	312 S.F. UTILITY ENCLOSURE
PROPOSED BUILDING	N/A
SITE ZONING	B-3 HIGHWAY BUSINESS
TOTAL ACREAGE	0.94 AC + 2.88 AC = 3.82 AC
AREA OF PROJECT EXTENT	1.30 AC / 56,520 S.F.
ACREAGE OF LAND TO BE DISTURBED/EXPOSED	0.28 AC / 12,046 S.F.
NUMBER OF PARKING SPACES REQUIRED	0
NUMBER OF PARKING SPACES EXISTING	0
IMPERVIOUS SURFACE EXISTING	0.46 AC
IMPERVIOUS SURFACE PROPOSED	0.16 AC
IMPERVIOUS SURFACE RATIO	66.0%
REQUIRED INTERNAL LANDSCAPED AREA	0.260 AC
PROVIDED INTERNAL LANDSCAPED AREA	0.301 AC
DEED BOOK AND PAGE NUMBER	DB. 498 PG. 532 DB. 2746 PG. 348
PARCEL NUMBER	165920-80-2775 165920-80-1674
RIVER BASIN	NEUSE
OVERLAY DISTRICT	THOROUGHFARE OVERLAY DISTRICT
PROPERTY LOCATION	TOWN LIMITS

DIMENSIONAL STANDARDS	
MIN. LOT AREA	8,000 S.F.
MIN. LOT WIDTH	60 FT.
MAX. BUILDING COVERAGE	50%
MAX. IMPERVIOUS SURFACE	75%
MAX. BUILDING HEIGHT	60 FT.
SETBACKS	
FRONT	25 FT
SITE INTERIOR	15 FT
SITE STREET	15 FT
REAR	30 FT



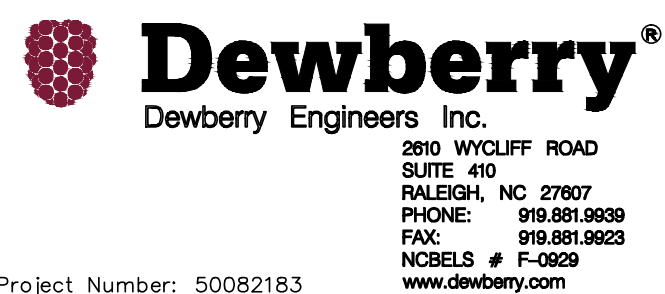
SHEET LIST:

COVER SHEET	69351 SHT 1 OF 9
EXISTING CONDITIONS PLAN	69351 SHT 2 OF 9
OVERALL SITE PLAN	69351 SHT 3 OF 9
SITE & UTILITY PLAN	69351 SHT 4 OF 9
GRADING, DRAINAGE AND EROSION CONTROL PLAN	69351 SHT 5 OF 9
LANDSCAPE PLAN	69351 SHT 6 OF 9
CIVIL DETAILS	69351 SHT 7 OF 9
CIVIL DETAILS	69351 SHT 8 OF 9
DETAILED PAD GRADING	69351 SHT 9 OF 9

GENERAL NOTES:

- LOCATION AND TOPOGRAPHICAL INFORMATION WAS TAKEN FROM AN ACTUAL FIELD SURVEY PERFORMED BY DEWBERRY ENGINEERS, INC., DATED SEPTEMBER 2007 AND UPDATED TOPOGRAPHICAL INFORMATION PROVIDED BY DEWBERRY ENGINEERS, INC. DATED MAY 2016. REFERENCE DATUM IS NAD 83 (2011) HORIZONTAL AND NAVD 88 FOR VERTICAL. BOUNDARY INFORMATION IS SHOWN FOR REFERENCE ONLY. CONSULT PROFESSIONAL LAND SURVEYOR FOR BOUNDARY DATA.
- ALL MATERIALS, CONSTRUCTION, WORKMANSHIP SHALL MEET DUKE ENERGY PROGRESS, LLC (DEP) SPECIFICATIONS, STANDARDS AND DESIGN.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC., AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- CONTRACTOR TO REFER TO GEOTECHNICAL REPORT COMPLETED BY ECS CAROLINAS, LLP FOR GUIDANCE IN SITEWORK (ECS PROJECT NO: 06:15269, DATED AUGUST 17, 2007).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY PAVEMENT OR EXISTING UTILITIES THAT ARE DAMAGED DUE TO CONSTRUCTION ACTIVITY.
- DO NOT POUR ANY CONCRETE BEFORE FORMS ARE INSPECTED AND APPROVED BY THE PROJECT ENGINEER. FAILURE TO DO SO MAY CONSTITUTE REMOVAL OF WORK PERFORMED AT CONTRACTOR'S COST UNTIL MADE SATISFACTORY BY THE ENGINEER.
- CONTRACTOR IS REQUIRED TO PROVIDE "AS-BUILT" DRAWINGS FOR ENGINEER UPON COMPLETION OF CONSTRUCTION. NOTE ANY DEVIATIONS FROM THE ORIGINAL PLANS. PLANS ARE TO REFLECT THE ACTUAL LOCATION AND MATERIALS. FAILURE TO PROVIDE AS-BUILT DRAWINGS MAY DELAY PROJECT AND REQUIRE AT CONTRACTOR'S EXPENSE, A FILED SURVEY BY A PLS.
- EARTHWORK/EROSION:
 - SITE DISTURBANCE IS LESS THAN 1 ACRE THEREFORE AN EROSION CONTROL PERMIT IS NOT REQUIRED. ALL ADDITIONAL EROSION CONTROL ITEMS THAT ARE INSTALLED THAT ARE NOT SHOWN ON THE PLANS, SHALL BE APPROVED BY THE LOCAL AGENCY OR DEP REPRESENTATIVE BEFORE INSTALLING IN ORDER TO APPROVE FOR PAYMENT. ITEMS NOT APPROVED WILL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
 - ALL DISTURBED AREAS SHALL BE LANDSCAPED AND SEEDED WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION.
 - THE LOCATION OF THE TOPSOIL STOCKPILE SHALL BE COORDINATED WITH DEP REPRESENTATIVE.
 - ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF OFF-SITE IN A STATE PERMITTED LANDFILL.
 - UNLESS NOTED OTHERWISE, ALL TREES NOT MARKED TO BE REMOVED ARE NOT TO BE DISTURBED. THEY ARE TO BE PROTECTED FROM DAMAGE BY EQUIPMENT DURING CONSTRUCTION.
- ENVIRONMENTAL:
 - THIS PARCEL LIES WITHIN FEMA ZONE "X" AND ZONE "AE" AS REFERENCED FROM DFIRM PANEL 3720165900J EFFECTIVE DATE 12-2-2005.
 - THIS SITE IS NOT LOCATED WITHIN A WATERSHED PROTECTED ZONE.
- UTILITIES:
 - EXISTING UTILITY LOCATIONS SHOWN, IF ANY, ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 (OR 811) FOR LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING UNDER, AROUND, AND/OR ADJACENT TO EXISTING POWER LINES.

2	69351	7/18/16	100% REVISED PER TOWN COMMENTS	JRD	EBS	LWM
1	69351	6/22/16	95% REVISED PER TOWN COMMENTS	JRD	SRN	LWM
0	69351	5/31/16	90% FOR PERMIT REVIEW	JRD	SRN	LWM
B	69351	5/26/16	50% DESIGN REVIEW	JRD	SRN	LWM
A	69351	5/20/16	30% DESIGN REVIEW	JRD	SRN	LWM
REV	FILE NO.	DATE	REVISION	DRAWN	CHECKED	APPROVED



TITLE CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP TITLE SHEET		
SIZE D	DEP PROJECT NO. 69351	SHEET 1 OF 9

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01

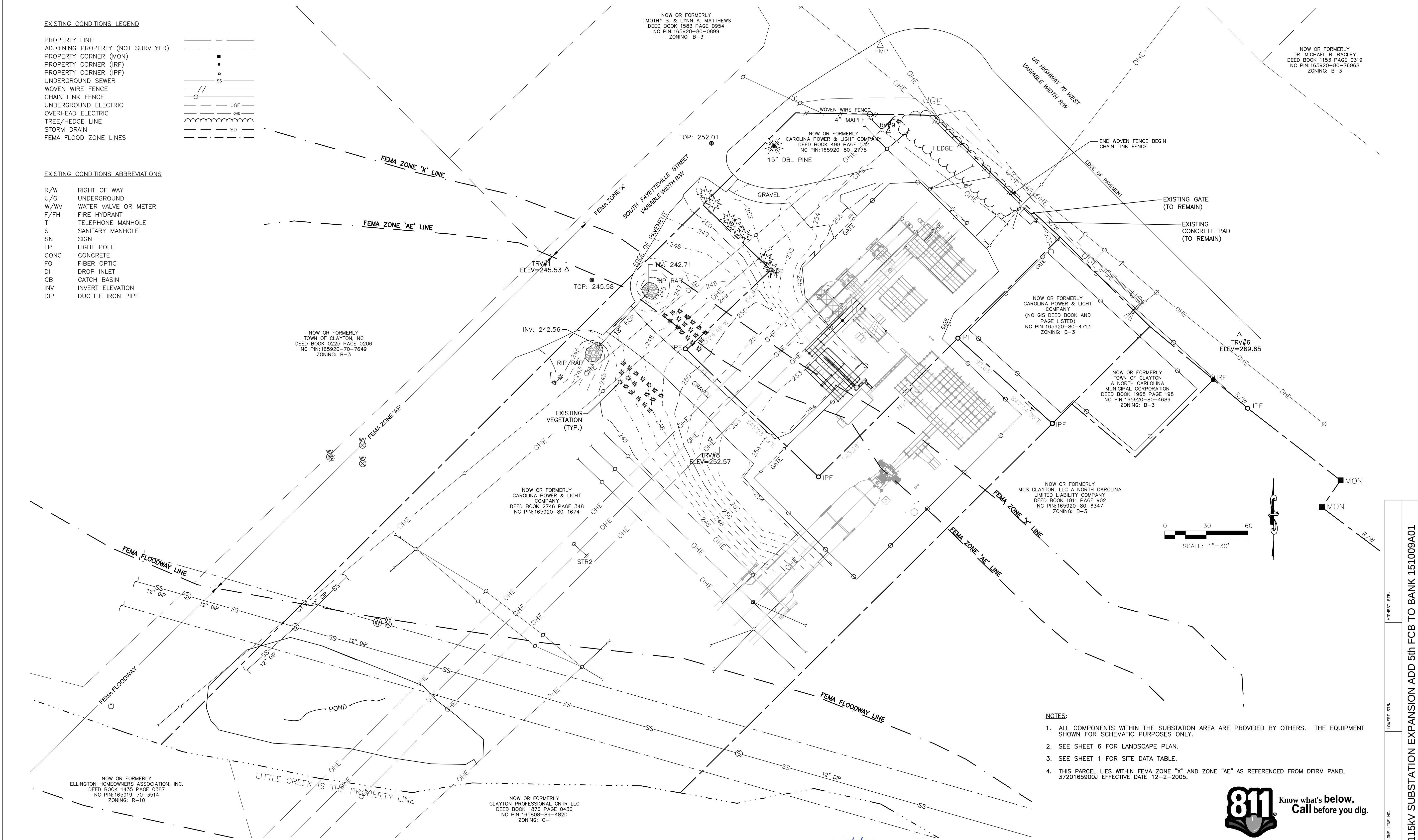
HIGHEST STN.
LOWEST STN.
ONE LINE NO.

EXISTING CONDITIONS LEGEND

PROPERTY LINE
ADJOINING PROPERTY (NOT SURVEYED)
PROPERTY CORNER (MON)
PROPERTY CORNER (IRF)
PROPERTY CORNER (IPF)
UNDERGROUND SEWER
WOVEN WIRE FENCE
CHAIN LINK FENCE
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC
TREE/HEDGE LINE
STORM DRAIN
FEMA FLOOD ZONE LINES

EXISTING CONDITIONS ABBREVIATIONS

R/W RIGHT OF WAY
U/G UNDERGROUND
W/WV WATER VALVE OR METER
F/FH FIRE HYDRANT
T TELEPHONE MANHOLE
S SANITARY MANHOLE
SN SIGN
LP LIGHT POLE
CONC CONCRETE
FO FIBER OPTIC
DI DROP INLET
CB CATCH BASIN
INV INVERT ELEVATION
DIP DUCTILE IRON PIPE



- NOTES:
- ALL COMPONENTS WITHIN THE SUBSTATION AREA ARE PROVIDED BY OTHERS. THE EQUIPMENT SHOWN FOR SCHEMATIC PURPOSES ONLY.
 - SEE SHEET 6 FOR LANDSCAPE PLAN.
 - SEE SHEET 1 FOR SITE DATA TABLE.
 - THIS PARCEL LIES WITHIN FEMA ZONE "X" AND ZONE "AE" AS REFERENCED FROM DFIRM PANEL 3720165900J EFFECTIVE DATE 12-2-2005.

2	69351	7/18/16	100% REVISED PER TOWN COMMENTS	JRD	EBS	LWM
1	69351	6/22/16	95% REVISED PER TOWN COMMENTS	JRD	SRN	LWM
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B	69351	5/26/16	50% DESIGN REVIEW	JRD	SRN	LWM
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REV	FILE NO.	DATE	REVISION	DRAWN	CHECKED	APPROVED



Dewberry
Dewberry Engineers Inc.
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RALEIGH, NC 27607
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NCBELS # F-0029
www.dewberry.com

DUKE ENERGY
PROGRESS
410 SOUTH WILMINGTON STREET
RALEIGH, NC 27601
PHONE: 919.546.8123

TITLE
CLAYTON 115KV SUBSTATION EXPANSION
ADD 5th FCB TO BANK 151009A01
S. FAYETTEVILLE STREET
CLAYTON, NC 27520
TOWN OF CLAYTON # 2016-116-SP
EXISTING CONDITIONS PLAN

SIZE D DEP PROJECT NO. 69351 SHEET 2 OF 9

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01



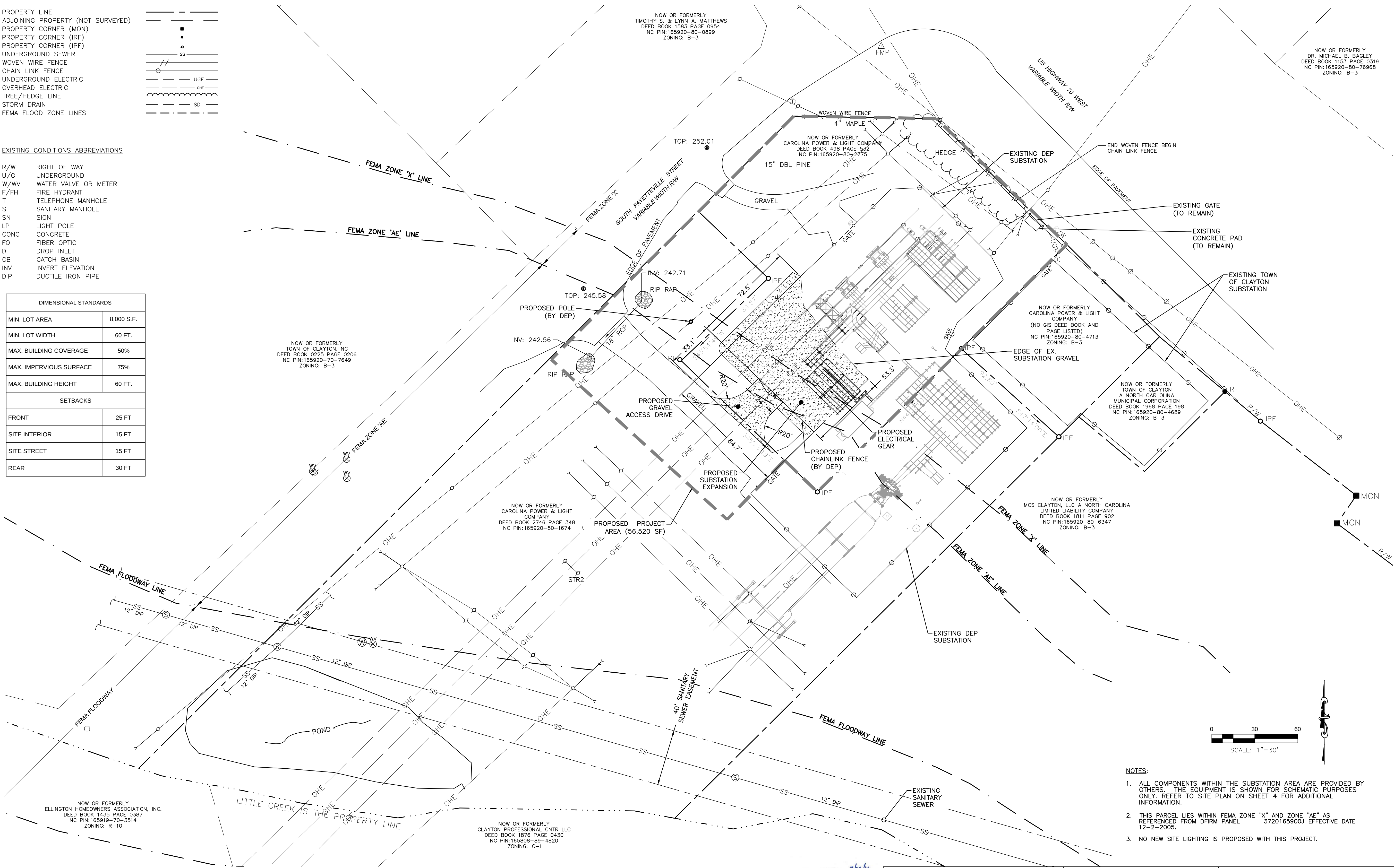
EXISTING CONDITIONS LEGEND

PROPERTY LINE	---
ADJOINING PROPERTY (NOT SURVEYED)	---
PROPERTY CORNER (MON)	■
PROPERTY CORNER (RIP)	●
PROPERTY CORNER (IPF)	○
UNDERGROUND SEWER	SS
WOVEN WIRE FENCE	///
CHAIN LINK FENCE	—
UNDERGROUND ELECTRIC	— UGE
OVERHEAD ELECTRIC	— OHE
TREE/HEDGE LINE	~~~~~
STORM DRAIN	— SD
FEMA FLOOD ZONE LINES	---

EXISTING CONDITIONS ABBREVIATIONS

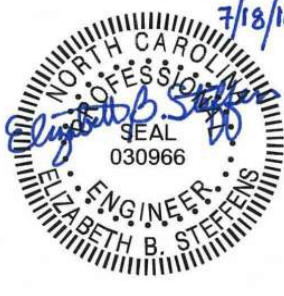
R/W	RIGHT OF WAY
U/G	UNDERGROUND
W/WV	WATER VALVE OR METER
F/FH	FIRE HYDRANT
T	TELEPHONE MANHOLE
S	SANITARY MANHOLE
SN	SIGN
LP	LIGHT POLE
CONC	CONCRETE
FO	FIBER OPTIC
DI	DROP INLET
CB	CATCH BASIN
INV	INVERT ELEVATION
DIP	DUCTILE IRON PIPE

DIMENSIONAL STANDARDS	
MIN. LOT AREA	8,000 S.F.
MIN. LOT WIDTH	60 FT.
MAX. BUILDING COVERAGE	50%
MAX. IMPERVIOUS SURFACE	75%
MAX. BUILDING HEIGHT	60 FT.
SETBACKS	
FRONT	25 FT
SITE INTERIOR	15 FT
SITE STREET	15 FT
REAR	30 FT



- NOTES:
- ALL COMPONENTS WITHIN THE SUBSTATION AREA ARE PROVIDED BY OTHERS. THE EQUIPMENT IS SHOWN FOR SCHEMATIC PURPOSES ONLY. REFER TO SITE PLAN ON SHEET 4 FOR ADDITIONAL INFORMATION.
 - THIS PARCEL LIES WITHIN FEMA ZONE "X" AND ZONE "AE" AS REFERENCED FROM DFIRM PANEL 3720165900J EFFECTIVE DATE 12-2-2005.
 - NO NEW SITE LIGHTING IS PROPOSED WITH THIS PROJECT.

REV	FILE NO.	DATE	REVISION	DRAWN	CHECKED	APPROVED
2	69351	7/18/16	100% REVISED PER TOWN COMMENTS	JRD	EBS	LWM
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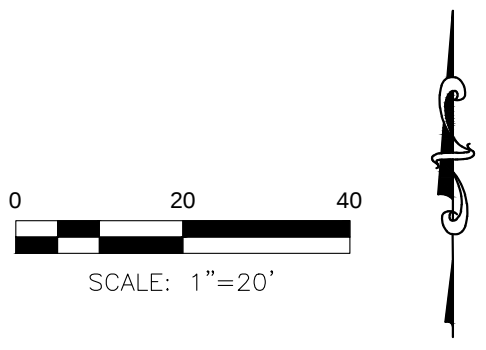
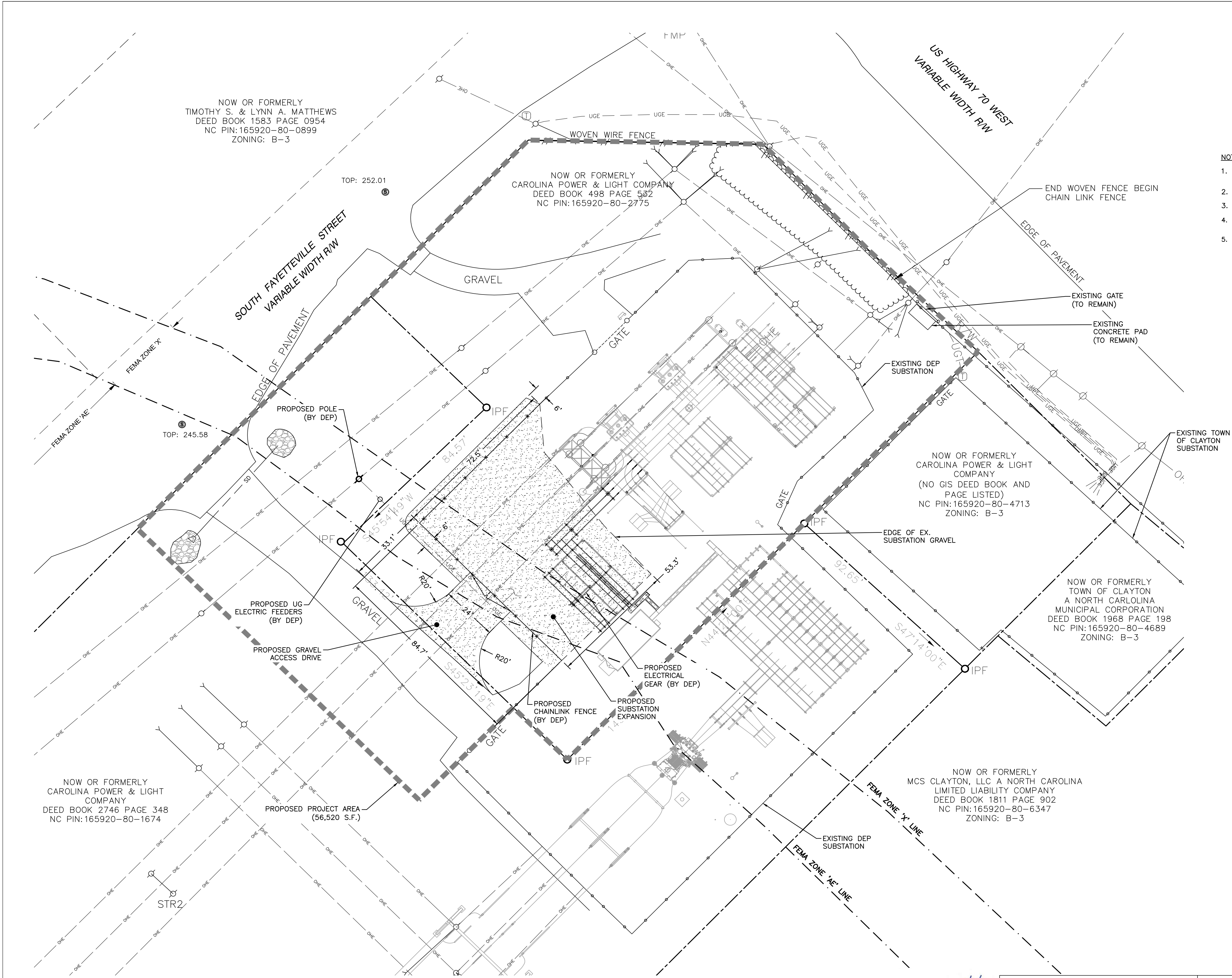
Dewberry
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DUKE ENERGY
PROGRESS
410 SOUTH WILMINGTON STREET
RALEIGH, NC 27601
PHONE: 919.546.8123

TITLE		
CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP OVERALL SITE PLAN		
SIZE	DEP PROJECT NO.	SHEET
D	69351	3 OF 9

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01

HIGHEST STN. LOWEST STN. ONE LINE NO.



- NOTES:**
1. ALL COMPONENTS WITHIN THE SUBSTATION AREA ARE PROVIDED BY OTHERS. THE EQUIPMENT SHOWN FOR SCHEMATIC PURPOSES ONLY.
 2. SEE SHEET 6 FOR LANDSCAPE PLAN.
 3. SEE SHEET 1 FOR SITE DATA TABLE.
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 5. NO NEW SITE LIGHTING IS PROPOSED WITH THIS PROJECT.

DIMENSIONAL STANDARDS	
MIN. LOT AREA	8,000 S.F.
MIN. LOT WIDTH	60 FT.
MAX. BUILDING COVERAGE	50%
MAX. IMPERVIOUS SURFACE	75%
MAX. BUILDING HEIGHT	60 FT.
SETBACKS	
FRONT	25 FT
SITE INTERIOR	15 FT
SITE STREET	15 FT
REAR	30 FT

EXISTING CONDITIONS LEGEND

- PROPERTY LINE
ADJOINING PROPERTY (NOT SURVEYED)
PROPERTY CORNER (MON)
PROPERTY CORNER (IPF)
PROPERTY CORNER (IPF)
UNDERGROUND SEWER
WOVEN WIRE FENCE
CHAIN LINK FENCE
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC
TREE/HEDGE LINE
STORM DRAIN
FEMA FLOOD ZONE LINES

EXISTING CONDITIONS ABBREVIATIONS

- R/W RIGHT OF WAY
U/G UNDERGROUND
W/W WATER VALVE OR METER
F/FH FIRE HYDRANT
T TELEPHONE MANHOLE
S SANITARY MANHOLE
SIGN
LP LIGHT POLE
CONC CONCRETE
FO FIBER OPTIC
DI DROP INLET
CB CATCH BASIN
INV INVERT ELEVATION
DIP DUCTILE IRON PIPE

2	69351	7/18/16	100% REVISED PER TOWN COMMENTS	JRD	EBS	LWM
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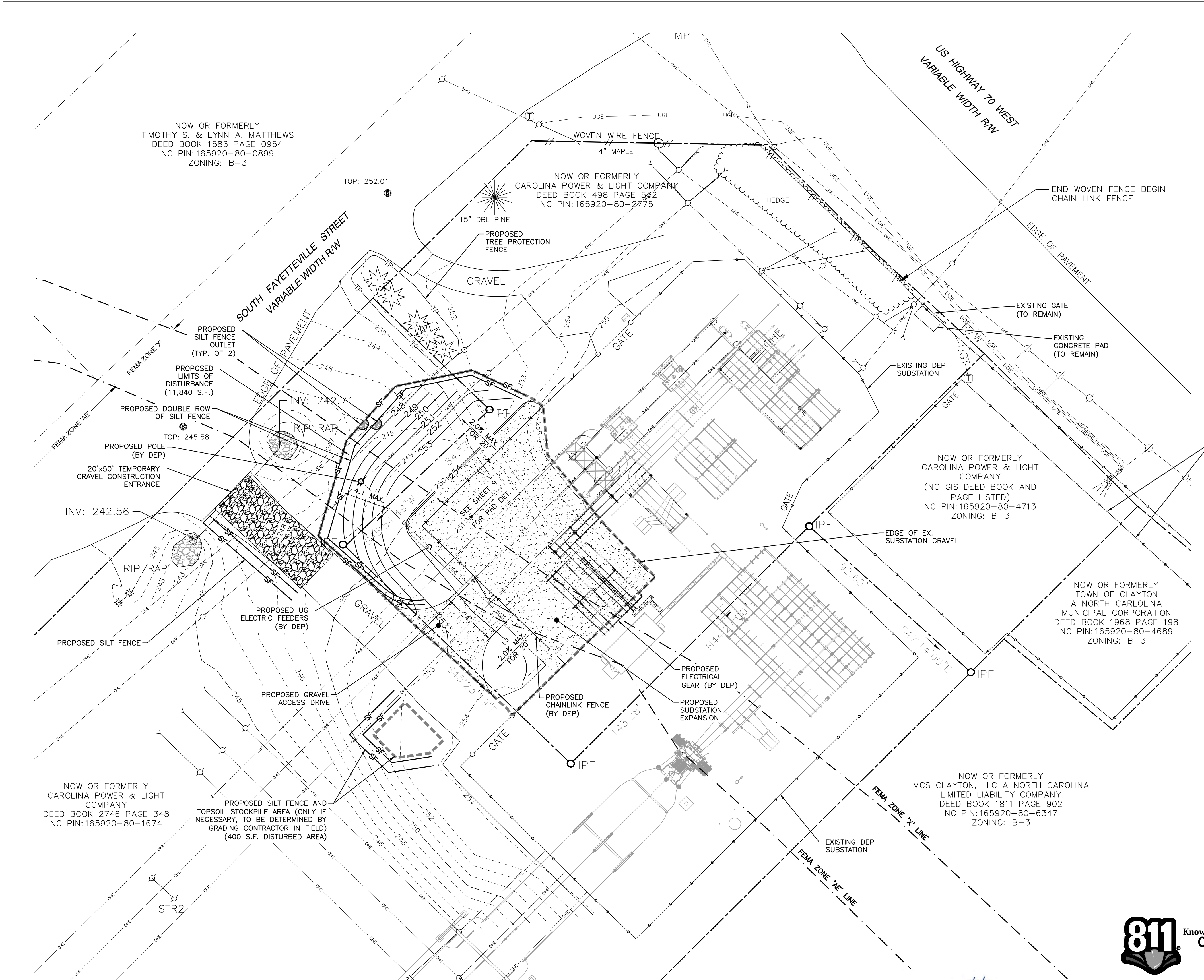


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TITLE CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP SITE & UTILITY PLAN	
SIZE D	DEP PROJECT NO. 69351
SHEET 4	OF 9

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01



CAUTION:
UNDERGROUND TELEPHONE, POWER, AND FIBER OPTIC LINES ARE IN VICINITY OF SUBSTATION. CONTRACTOR TO VERIFY LOCATION PRIOR TO DIGGING.

WARNING:
OVERHEAD POWER IN VICINITY OF WORK AREA. CONTRACTOR SHALL USE CAUTION WHILE WORKING AROUND ENERGIZED POWER LINES.

- NOTES:**
1. SEE SHEET 2 FOR EXISTING CONDITIONS.
 2. CHAIN LINK FENCE NOT INCLUDED IN ORIGINAL GRADING WORK.
 3. CONTRACTOR SHALL GRADE SITE TO PREVENT PONDING.
 4. SEE SHEET 8 FOR SUBSTATION STONE PAD DETAILS AND OTHER SECTIONS
 5. ALL GRADES SHALL BE TO TOP OF FINISHED GRADE.
 6. ALL GRADES OUTSIDE THE FENCE SHOULD BE 2% SLOPE FOR THE 20' SHOULDER AND CONNECT BACK TO EXISTING GRADES AT NO STEEPER THAN 4:1 SLOPE.
 7. CONTRACTOR SHALL GRADE SWITCH MAINTENANCE AREA TO PREVENT PONDING BUT AT A MAX 0.5% SLOPE ALL DIRECTIONS.
 8. MULTIPLE OVERHEAD ELECTRICAL LINES EXISTING AT THIS FACILITY. THESE POSE EXTREME HAZARD TO PERSONNEL WORKING IN THE AREA. CONTRACTOR SHALL MEET ALL SAFETY REQUIREMENT OF DUKE ENERGY PROGRESS.
 9. IN ADDITION TO ALL SAFETY REQUIREMENTS BY DUKE ENERGY PROGRESS, A COMPREHENSIVE SITE SAFETY AND STAGING MEETING SHOULD BE HELD ONSITE WITH DUKE ENERGY PROGRESS AND TOWN OF CLAYTON ELECTRIC UTILITIES DEPARTMENT. CONTRACTOR TO NOTIFY MICHAEL L. WATERS, PE AT (252)943-2454 WITH TOWN OF CLAYTON ELECTRIC UTILITIES AND COORDINATE HIS ATTENDANCE.
 10. SEE SHEET 9 FOR DETAILED PAD GRADING.

STORMWATER EXEMPTION:
SITE IS EXEMPT FROM TOTAL NITROGEN AND PEAK ATTENUATION CALCULATIONS BECAUSE SITE IS LESS THAN 17,000' SQ. FT. DISTURBED AREA.

EXISTING CONDITIONS LEGEND

PROPERTY LINE	---
ADJOINING PROPERTY (NOT SURVEYED)	---
PROPERTY CORNER (MON)	•
PROPERTY CORNER (IPF)	•
UNDERGROUND SEWER	---
WOVEN WIRE FENCE	==
CHAIN LINK FENCE	==
UNDERGROUND ELECTRIC	---
OVERHEAD ELECTRIC	---
TREE/HEDGE LINE	---
STORM DRAIN	---
FEMA FLOOD ZONE LINES	---

EXISTING CONDITIONS ABBREVIATIONS

R/W	RIGHT OF WAY
U/G	UNDERGROUND
W/WV	WATER VALVE OR METER
F/FH	FIRE HYDRANT
T	TELEPHONE MANHOLE
S	SANITARY MANHOLE
SN	SIGN
LP	LIGHT POLE
CONC	CONCRETE
FO	FIBER OPTIC
DI	DROP INLET
CB	CATCH BASIN
INV	INVERT ELEVATION
DIP	DUCTILE IRON PIPE

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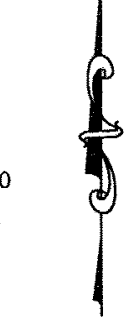
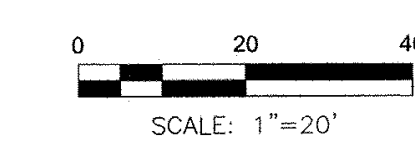
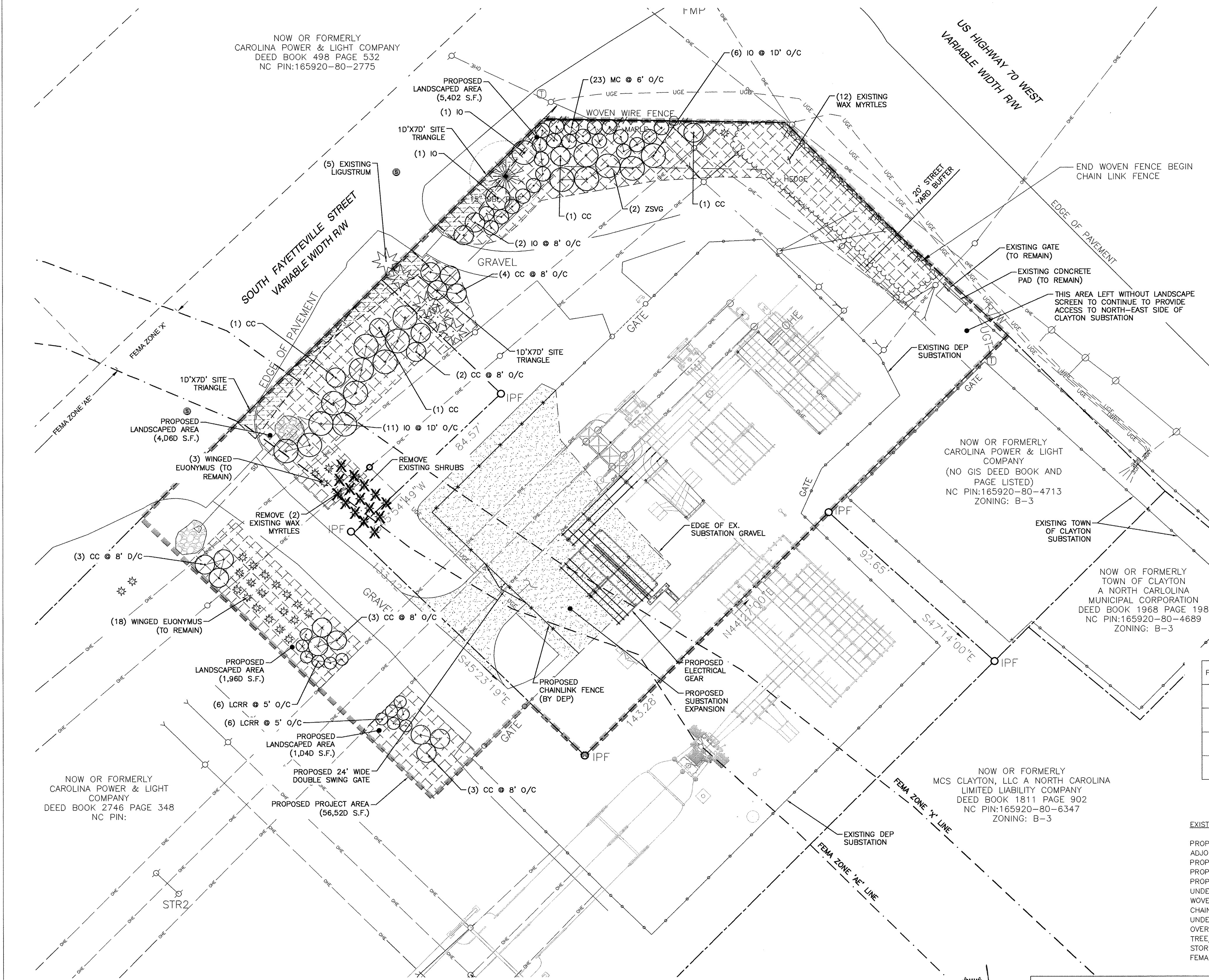
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TITLE CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP GRADING AND DRAINAGE PLAN			
SIZE D	DEP PROJECT NO. 69351	SHEET 5	OF 9

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01



- NOTES:**
- SEE SHEET 2 FOR EXISTING CONDITIONS.
 - ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
 - SEED SLOPES 3:1 OR FLATTER. INSTALL SOD ON SLOPES STEEPER THAN 3:1. 1:1 SLOPES ARE NOT ALLOWED.
 - CONTRACTOR SHALL ADJUST PLANT AND TREE PLANTING LOCATIONS AS NECESSARY TO AVOID UNDERGROUND AND OVERHEAD UTILITIES.
 - OWNER SHALL MAINTAIN ALL LANDSCAPING IN COMPLIANCE WITH CLAYTON 155.4D2, PART 5(H)(2) REQUIREMENTS.
 - ALL PLANTS SHALL MEET OR EXCEED AMERICAN ASSOCIATION OF NURSERYMAN PUBLISHED STANDARDS.

LANDSCAPE REQUIREMENTS:

PART 1 - SITE INTERIOR PROJECT AREA = 56,520 SF
20% X 56,520 = 11,304 SF REQ'D LANDSCAPE AREA
CANOPY TREES @ 1 / 1,000 SF = 11.3 = 12
UNDERSTORY TREES @ 1 / 1,000 SF = 11.3 = 12
SHRUBS @ 2/1,000 SF = 24

PART 2 - PERIMETER BUFFER (±461 LF)
• STREET BUFFER: CLASS "A" @ 20' WIDE ALT 3
1 CANOPY / 100 LF = 5
2 UNDERSTORY / 100 LF = 10
8 SHRUBS / 100 LF = 37

EXISTING
1 CANOPY - 15" DBL PINE WITHIN 20' STREET
13 UNDERSTORY - MATURE 10"-12" WAX MYRTLES
1 CANOPY - 4" MAPLE
26 SHRUBS - 21 WINGED EUONYMUS + 5 LIGUSTRUM

LANDSCAPE COMPLIANCE:

EXISTING CANOPY	=	2
CANOPY 2 FOR 1 (OVERHEAD WIRES) (30 UNDERSTORY)	=	15
REQUIRED CANOPY	=	17
REQUIRED UNDERSTORY FOR (15) CANOPY	=	30
OTHER REQUIRED UNDERSTORY (12+10)	=	22
EXISTING UNDERSTORY	=	12
REQUIRED NEW UNDERSTORY	=	40
EXISTING SHRUBS	=	26
NEW SHRUBS	=	35
REQUIRED SHRUBS	=	61
LANDSCAPE AREA REQUIRED	=	11,304 SF
LANDSCAPE AREA PROVIDED	=	13,112 SF

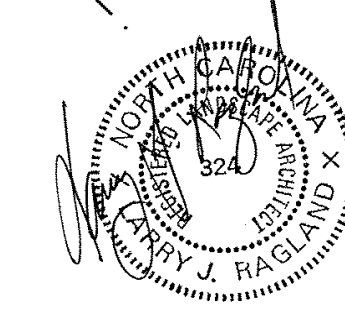
NOTE: ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. HEIGHT	MIN. SPREAD	MIN. CALIPER	ROOT
IO	21	ILEX OPACA	AMERICAN HOLLY	6'	30"	2"	B&B
LCRR	12	LOROPETALUM CHINESE 'RUBRUM'	RAZZLEBERRY FRINGE FLOWER	24"	12"	-	CON
MC	23	MYRICA CERIFERA	WAX MYRTLE	24"	12"	-	CON
CC	19	CERCIS CANADENSIS	REDBUD	6'	30"	2"	B&B

B&B = BALLED & BURLAPPED CON = CONTAINER

EXISTING CONDITIONS LEGEND		EXISTING CONDITIONS ABBREVIATIONS	
PROPERTY LINE	---	R/W	RIGHT OF WAY
ADJOINING PROPERTY (NOT SURVEYED)	---	U/G	UNDERGROUND
PROPERTY CORNER (MON)	•	W/WV	WATER VALVE OR METER
PROPERTY CORNER (IRF)	•	F/FH	FIRE HYDRANT
PROPERTY CORNER (IPF)	•	T	TELEPHONE MANHOLE
UNDERGROUND SEWER	---	S	SANITARY MANHOLE
WOVEN WIRE FENCE	---	SN	SIGN
CHAIN LINK FENCE	---	LP	LIGHT POLE
UNDERGROUND ELECTRIC	---	CONC	CONCRETE
OVERHEAD ELECTRIC	---	FO	FIBER OPTIC
TREE/HEDGE LINE	---	DI	DROP INLET
STORM DRAIN	---	CB	CATCH BASIN
FEMA FLOOD ZONE LINES	---	INV	INVERT ELEVATION
		DIP	DUCTILE IRON PIPE

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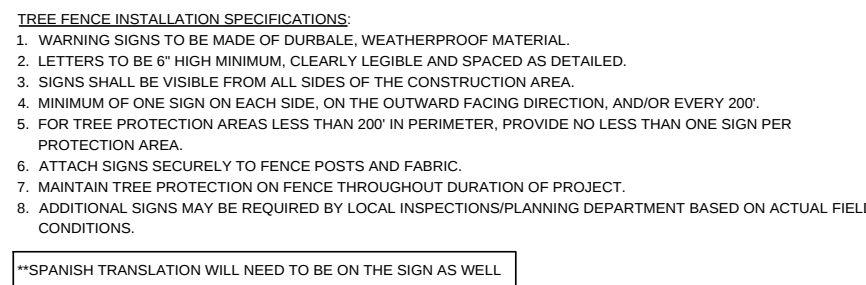
TITLE		CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP LANDSCAPING PLAN	
SIZE	D	DEP PROJECT NO.	69351
SHEET	6	OF	9

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01

1. SILT FENCE SHALL BE INSTALLED A MINIMUM OF 5' OUTSIDE TOE OF EARTHFILL EMBANKMENTS, MAY ALSO BE INSTALLED AROUND ALL STORM DRAIN INLETS, & MANHOLES AS DIRECTED.
2. WIRE SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL HAVE A MAXIMUM MESH SPACING OF 6".
3. FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED SECURELY TO THE WIRE.
4. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF SELF-FASTENER ANGLE STEEL TYPE.
5. USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW.
6. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.

MAINTENANCE REQUIREMENTS:

- TYPICAL SILT FENCE DETAIL (TEMPORARY)



**DUKE
ENERGY.**
PROGRESS

1	12/21/2015	REVISIONS				LOCATION	STANDARD DRAWING
2	05-06-2013	INITIAL RELEASE				SCALE	1' = 1'-0' SCALE RATIO 1:1
3						DRAWN SFP	CHK. BGT APP. SFP
4	DATE	REVISION				DATE	05-06-13 DWS, MD, CT-65394 SH 1 OF 1

NOTES:
 STRUCTURAL STONE SHALL BE CLASS "B" STONE FOR EROSION CONTROL PURPOSES.
 POST: METAL T-POSTS 5' OR 6' IN HEIGHT DEPENDING ON THE FILL SLOPE.
 FABRIC: 36" IN WIDTH (MUST MEET ENGINEER SPECIFICATIONS FOR EROSION CONTROL).
 STONE: #57 WASHED STONE TO BE PLACED 12" DEEP AT SILT FENCE

MAINTENANCE:

1. INSPECT SILT FENCE OUTLET EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT 1/2 INCH OR GREATER.
2. REMOVE ACCUMULATED SEDIMENT AND REPLACE STONE AS NECESSARY.

LEGEND:

NO.	DATE	REVISION	LOC	BY	CHK	APP	DATE	DESCRIPTION
1	12/22/2015	INITIAL RELEASE						

DUKE ENERGY
PROGRESS

SEDIMENT AND EROSION CONTROL, DETAILS
TRANSMISSION, ENGINEERING
SILT FENCE OUTLET DETAIL

LOCATION: STANDARD DRAWING
SCALE: 1" = 1'-0" SCALE HORIZ 1:1
DATE: 05-05-13 **OWN:** NC DOT **APP:** SP7
DATE: 05-05-13 **OWN:** NC DOT **APP:** SP7



WASHING - IF CONDITIONS AT THE SITE ARE SUCH THAT MOST OF THE MUD AND SEDIMENT WILL NOT BE REMOVED BY VEHICLES TRAVELING OVER THE GRAVEL, THE TIRES SHOULD BE WASHED. WASHING SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO A SEDIMENT TRAP OR OTHER SUITABLE DISPOSAL AREA. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.

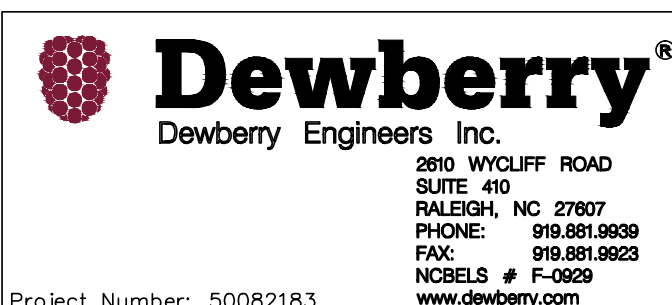
CONSTRUCTION SPECIFICATION

1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL PROPERLY AND GRADE IT.
2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS AND SMOOTH IT.
3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.

MAINTENANCE:

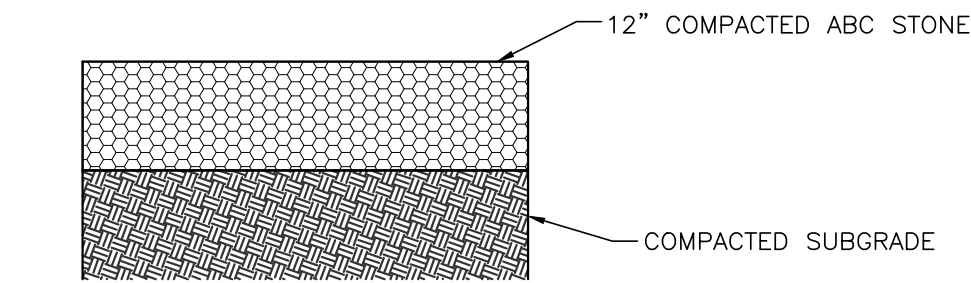
1. INSPECT TEMPORARY ENTRANCE/EXIT PAD ONCE PER WEEK AND AFTER EVERY RAINFALL.
2. REPLACE GRAVEL PAD WHEN AGGREGATE IS CLOGGED WITH SEDIMENT AND/OR WHEN SEDIMENT IS BEING TRACKED ON ROADWAY.
3. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

NOT TO SCALE

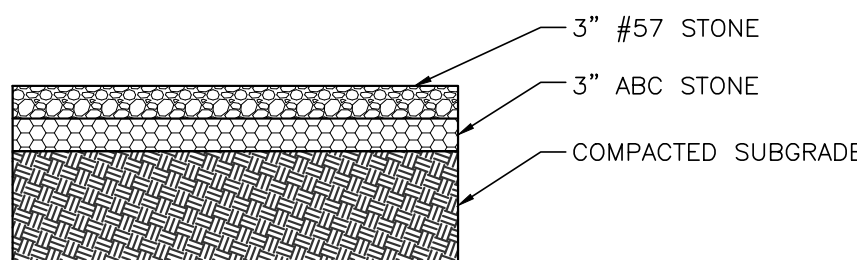


TITLE CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP CIVIL DETAILS		
SIZE D	DEP PROJECT NO. 69351	SHEET 7 OF 9

ONE LINE NO.	LOWEST STR.	HIGHEST STR.
CLAYTON 115kV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01		



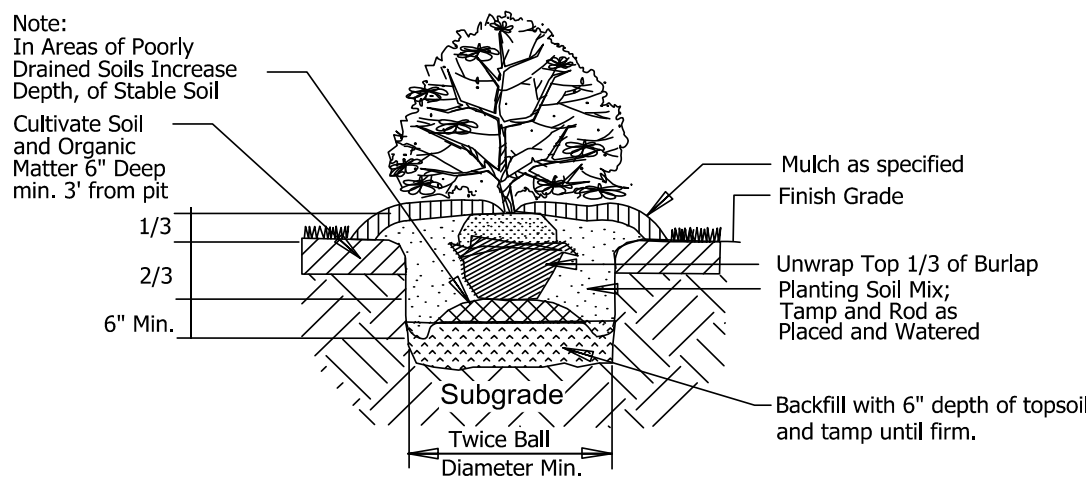
ACCESS DRIVE TYPICAL SECTION
NTS



SUBSTATION PAD TYPICAL SECTION
NTS

NOTES:

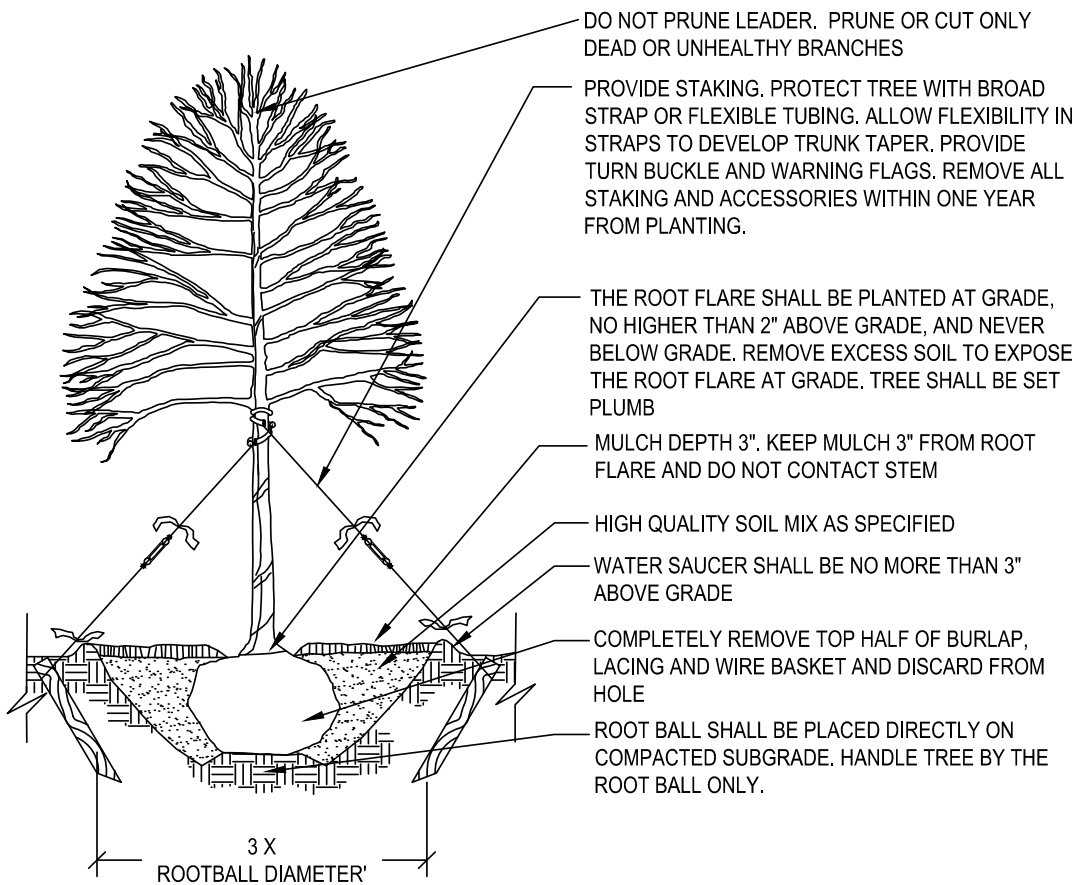
- SUBGRADE AND FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.
- THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT WHEN NECESSARY FOR THIS SITE.
- ALL GRANULAR FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR WITHIN 3% OF OPTIMUM MOISTURE CONTENT OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.



Till soil min. 12 inch deep and work in sand, finely shredded bark, or peat moss until soil is loose and friable.
Make shallow excavation and set plant ball in center. Top of root ball should be 3 inch 5 inch min. above level of bed.
Mound loose soil in bed around root ball and gently press into place.
Mulch 2 inch over soil around plant and water.

RAISED BALL SHRUB PLANTING

NOT TO SCALE



NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- STREET TREES TO BE 3 inch CALIPER MIN. AT INSTALLATION.

TREE PLANTING DETAIL

NOT TO SCALE

SCOPE OF WORK:

ALL LANDSCAPE WORK SHALL BE PERFORMED BY A CONTRACTOR WHO IS LICENSED TO DO BUSINESS, WHO SPECIALIZES IN LANDSCAPE WORK, AND WITH A WORK RECORD OF SATISFACTORY PERFORMANCE ON PROJECTS OF SIMILAR SIZE AND TYPE TO THE ONE TO WHICH THESE PLANS AND DETAILS APPLY.

THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL THE LANDSCAPE WORK SHOWN ON THE PLAN AND IN THE SPECIFICATIONS. QUANTITIES GIVEN IN THE PLANT SCHEDULE ARE ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BIDDING. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACT SHALL BE BASED ON THE BIDDER HAVING VERIFIED, PRIOR TO BIDDING, THE AVAILABILITY OF THE SPECIFIED PLANT MATERIAL IN THE QUANTITIES SHOWN. SUBSTITUTIONS MAY ONLY BE MADE WITH PRIOR APPROVAL IN WRITING FROM THE ATTENDING LANDSCAPE ARCHITECT AND THE APPROPRIATE APPROVING JURISDICTION.

STANDARDS:

ALL PLANT MATERIAL SHALL BE EQUAL IN QUALITY TO OR BETTER THAN THE REQUIREMENTS OF THE AMERICAN STANDARD NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND APPROVED BY STATE AND FEDERAL AGENCIES.

PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS AND WELL-BRANCHED ACCORDING TO THEIR SPECIES. THEY SHALL BE FREE OF DISEASE AND PESTS (INCLUDING EGGS), AND HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS. TRUNKS AND BRANCHES SHALL BE FREE OF CUTS AND ABRASIONS OVER ONE (1) INCH IN ANY DIMENSION. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY TO SITE. THE SHAPE OF THE PLANT SHALL IN GENERAL CONFORM TO THE NATURAL GROWTH PROPORTIONS AND HABIT UNLESS OTHERWISE SPECIFIED. TREES WITH BROKEN, DAMAGED OR MULTIPLE LEADERS SHALL BE REJECTED. BALL AND BURLAP MATERIAL SHALL BE DUG WITH FIRM, EVEN, APPROPRIATELY-SIZED AND NATURAL ROOT BALLS. PLANTS WITH SOFT, BROKEN OR DAMAGED ROOT BALLS SHALL BE REJECTED. PLANTS SHALL BE PROTECTED FROM WIND-BURN WHILE IN TRANSPORT TO THE SITE.

QUANTITIES AND SUBSTITUTIONS

A COMPLETE LIST OF PROPOSED PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE LANDSCAPE PLAN. IN THE EVENT THAT A QUANTITY DISCREPANCY OR MATERIAL OMISSION OCCURS IN THE PLANT MATERIALS LIST, THE PLAN VIEW SHALL BE USED TO DETERMINE THE CORRECT PLANT QUANTITIES.

IF ANY PLANT MATERIAL IS FOUND TO BE UNAVAILABLE OR UNSUITABLE FOR THE INTENDED USE, THE CONTRACTOR, LANDSCAPE ARCHITECT, OR OWNER MAY REQUEST A SUBSTITUTION BY CONTACTING THE APPROPRIATE APPROVING JURISDICTION IN WRITING.

WARRANTY

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WATER, WEED, MULCH, AND OTHERWISE MAINTAIN ALL PLANT MATERIAL INSTALLED AS PART OF THIS PLAN IN A HEALTHY GROWING CONDITION, FREE OF STRESS, DISEASE AND PESTS UNTIL SUCH TIME AS THE LANDSCAPE IS ACCEPTED IN WRITING BY THE APPROPRIATE APPROVING JURISDICTION AMMINISTRATOR. THE STANDARD ONE YEAR WARRANTY PERIOD SHALL NOT COMMENCE UNTIL SUCH FORMAL WRITTEN NOTICE IS GIVEN.

DURING THE WARRANTY PERIOD, ANY PLANT FOUND TO BE IN AN UNHEALTHY CONDITION BADLY IMPAIRED IN TERMS OF ITS ABILITY TO THRIVE SHALL BE REMOVED IMMEDIATELY AND REPLACED WITH AN ACCEPTABLE SPECIMEN.

PLANTING:

THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UTILITIES MARKED PRIOR TO BEGINNING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

THE SIZE AND WORK AREA SHALL BE KEPT CLEAN AND FREE OF DEBRIS. ALL WASTE MATERIAL RESULTING FROM THE INSTALLATION PROCESS SHALL BE REMOVED FROM THE PROJECT SITE.

IF PLANTS ARE SCHEDULED TO BE PLANTED IN AN AREA OF POOR DRAINAGE OR OTHER PROHIBITIVE GROWING CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY.

ALL PLANTS SHALL BE PROTECTED FROM DRYING WHILE BEING TRANSPORTED TO AND AROUND THE SITE. ANY PLANT NOT INSTALLED THE DAY OF DELIVERY SHALL BE PLACED IN A HOLDING AREA AND STORED IN AN UPRIGHT POSITION. THE ROOT BALLS SHALL BE COVERED IN A MOISTURE-HOLDING MEDIUM SUCH AS MULCH, WOOD CHIPS OR SAWDUST UNTIL THEY ARE INSTALLED.

THE PLANTING MIX USED FOR ALL PROPOSED PLANT MATERIAL, UNLESS OTHERWISE INDICATED, WILL CONSIST OF TWO-THIRDS NATIVE EXCAVATED SOIL AND ONE-THIRD ORGANIC MATTER. ANY NATIVE SOIL USED SHALL BE MADE FREE OF CLUMPS, DEBRIS, ROCKS, OVER ONE (1) INCH IN DIAMETER, AND ANY OTHER MATERIAL DETRIMENTAL TO THE HEALTHY GROWTH OF THE PLANT.

ALL PLANTING SHALL CONFORM TO THE DETAILS SHOWN ON THESE LANDSCAPE PLANS. THE ROOT COLLAR SHALL BE LEVEL OR SLIGHTLY ABOVE THE SURROUNDING FINISHED GRADE, AND EXCESS SOIL SHOULD BE REMOVED FROM THE ROOT COLLAR TO FACILITATE PROPER PLANTING DEPTH. DO NOT COVER THE ROOTBALL WITH EXCESSIVE SOIL.

PLANT MATERIAL SHALL BE MOVED AND PLACED IN THE PLANTING PIT BY LIFTING THE ROOT BALL. NO PLANT SHALL BE MOVED OR INSTALLED BY LIFTING BY THE STEM OR BRANCHES. DO NOT DROP PLANT MATERIAL, EITHER WHILE TRANSPORTING IT OR INSTALLING IT. PLANTS SHOULD BE SET STRAIGHT UPRIGHT AND IN THE CENTER OF THE PLANTING PIT. THE CONTRACTOR SHALL ORIENT THE PLANT IN THE PLANTING PIT WITH THE MOST ATTRACTIVE/DESIRABLE SIDE OF THE PLANT TOWARDS THE MOST PROMINENT VIEW (SIDEWALK, STREET, ETC.)

FOR BALL AND BURLAP PLANTS, REMOVE THE WIRE BASKET, BURLAP AND ANY OTHER BINDING MATERIAL FROM AT LEAST THE TOP HALF OF THE ROOT BALL. REMOVE ALL ROPES, WIRES, TAGS, AND PLASTIC WRAP FROM THE BASE OF THE PLANT AND THE LENGTH OF THE TRUNK. FOR CONTAINER-GROWN STOCK, THE CONTAINER SHALL BE REMOVED IMMEDIATE PRIOR TO INSTALLING THE PLANT. IF THE PLANT APPEARS TO BE ROOT-BOUND, USE A DISINFECTED SHARP KNIFE TO MAKE SEVERAL SCORES ALONG THE OUTSIDE AND BOTTOM OF THE ROOT MASS.

IMMEDIATELY AFTER INSTALLATION, THE CONTRACTOR SHALL ADD SOIL INOCULANT CONTAINING MYCORRHIZA AND A ROOT BIOSTIMULANT TO EACH PLANT. THE CONTRACTOR SHALL APPLY A GRANULAR FERTILIZER WITH AN ANALYSIS OF 10-6-4 TO THE BACKFILL MIX. THE FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATES: 1-2 LBS PER CALIPER INCH FOR TREES, 2-3 LBS PER 100 SF FOR SHRUB BEDS, 1-2 LBS PER 100 SF FOR GROUNDCOVER BEDS. THE PLANTING PIT SHALL BE BACKFILLED HALFWAY, WATERED WELL, THEN BACKFILLED TO THE DESIRED GRADE ACCORDING TO THE DETAILS, AND WATERED COMPLETELY AGAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL THE PROPOSED PLANT MATERIAL FOR THE ENTIRE WARRANTY PERIOD.

USE STAKES AND/OR GUYS ONLY IF DIRECTED BY THE APPROPRIATE APPROVING JURISDICTION AND LANDSCAPE ARCHITECT. STAKES SHALL BE 2 X 2 STRAIGHT AND SOUND HARDWOOD. GUYING MATERIAL SHALL BE ARBORTIE OR AN EQUIVALENT. ALL DAMAGE DONE TO INSTALLED PLANT MATERIAL SHALL BE REMOVED WITHIN ONE YEAR OF INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO INSTALLED PLANT MATERIAL BY IMPROPER STAKING AND GUYING.

2	69351	7/18/16	100% REVISED PER TOWN COMMENTS	JRD	EBS	LWM
1	69351	6/22/16	95% REVISED PER TOWN COMMENTS	JRD	SRN	LWM
0	69351	5/31/16	90% FOR PERMIT REVIEW	JRD	SRN	LWM
B	69351	5/26/16	50% DESIGN REVIEW	JRD	SRN	LWM
A	69351	5/20/16	30% DESIGN REVIEW	JRD	SRN	LWM
REV	FILE NO.	DATE	REVISION	DRAWN	CHECKED	APPROVED



**Dewberry**
Dewberry Engineers Inc.
2610 WYCLIFF ROAD
SUITE 410
RALEIGH, NC 27607
PHONE: 919.881.9939
FAX: 919.881.9923
NCBELS # F-0229
www.dewberry.com

Project Number: 50082183

**DUKE ENERGY**
PROGRESS
410 SOUTH WILMINGTON STREET
RALEIGH, NC 27601
PHONE: 919.546.8123

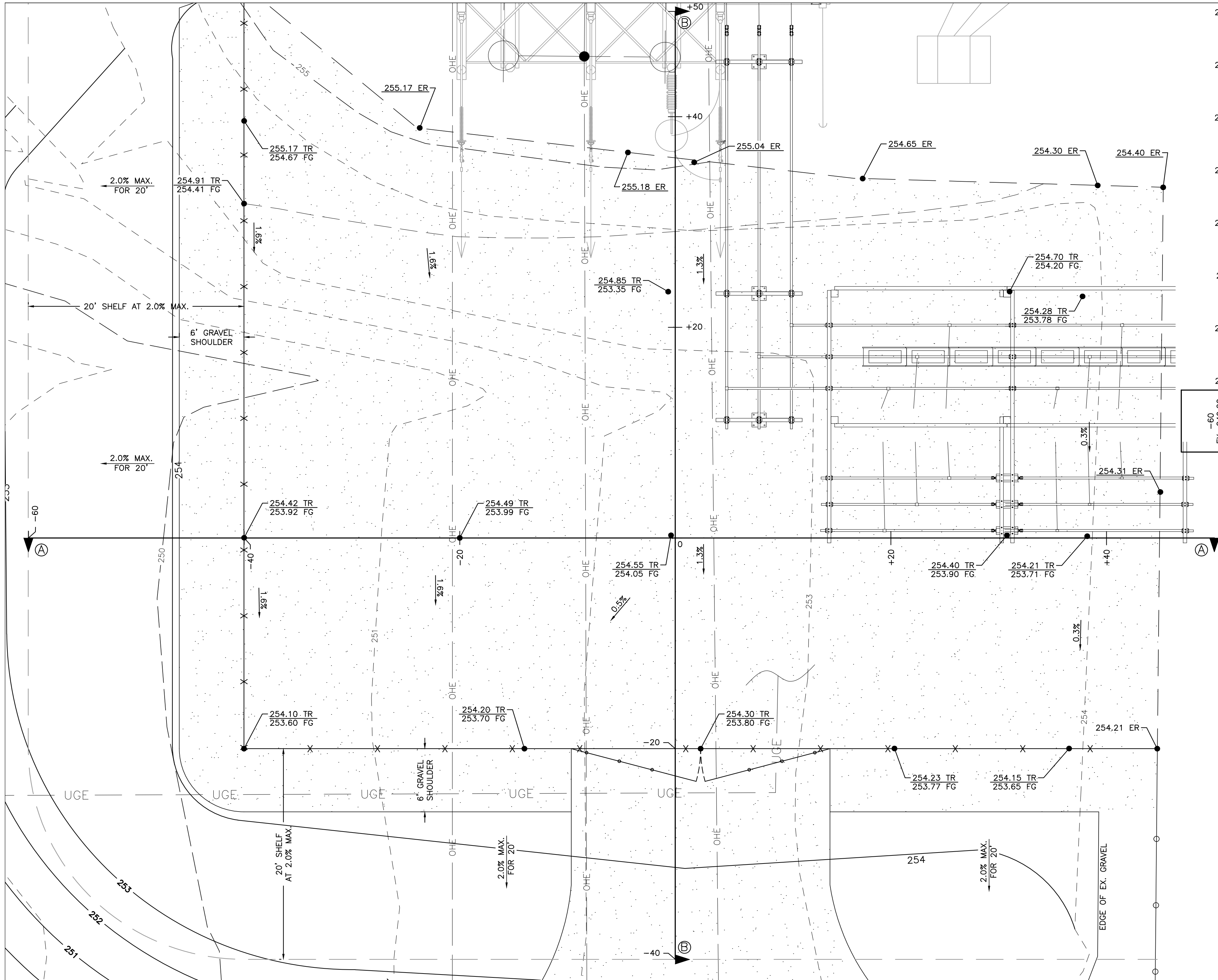
TITLE CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP SECTIONS AND CIVIL DETAILS		
SIZE D	DEP PROJECT NO. 69351	SHEET 8 OF 9

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01

HIGHEST STN.

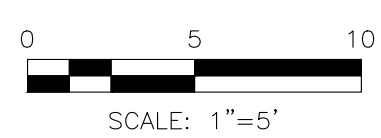
LOWEST STN.

ONE LINE NO.



CAUTION:
UNDERGROUND TELEPHONE, POWER, AND FIBER OPTIC LINES ARE IN VICINITY OF SUBSTATION. CONTRACTOR TO VERIFY LOCATION PRIOR TO DIGGING.

WARNING:
OVERHEAD POWER IN VICINITY OF WORK AREA. CONTRACTOR SHALL USE CAUTION WHILE WORKING AROUND ENERGIZED POWER LINES.



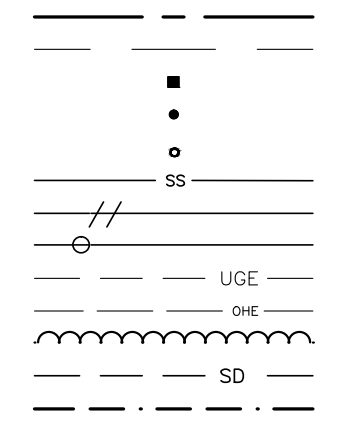
STORMWATER EXEMPTION:
SITE IS EXEMPT FROM TOTAL NITROGEN AND PEAK ATTENUATION CALCULATIONS BECAUSE SITE IS LESS THAN 17,000 SQ. FT. DISTURBED AREA.

- NOTES:**
- SEE SHEET 2 FOR EXISTING CONDITIONS.
 - CHAIN LINK FENCE NOT INCLUDED IN ORIGINAL GRADING WORK.
 - CONTRACTOR SHALL GRADE SITE TO PREVENT PONDING.
 - SEE SHEET 8 FOR SUBSTATION STONE PAD DETAILS AND OTHER SECTIONS
 - ALL GRADES SHALL BE TO TOP OF FINISHED GRADE.
 - ALL GRADES OUTSIDE THE FENCE SHOULD BE 2% SLOPE FOR THE 20' SHOULDER AND CONNECT BACK TO EXISTING GRADES AT NO STEEPER THAN 4:1 SLOPE.
 - CONTRACTOR SHALL GRADE SWITCH MAINTENANCE AREA TO PREVENT PONDING BUT AT A MAX 0.5% SLOPE ALL DIRECTIONS.
 - MULTIPLE OVERHEAD ELECTRICAL LINES EXISTING AT THIS FACILITY. THESE POSE EXTREME HAZARD TO PERSONNEL WORKING IN THE AREA. CONTRACTOR SHALL MEET ALL SAFETY REQUIREMENT OF DUKE ENERGY PROGRESS.
 - IN ADDITION TO ALL SAFETY REQUIREMENTS BY DUKE ENERGY PROGRESS, A COMPREHENSIVE SITE SAFETY AND STAGING MEETING SHOULD BE HELD ONSITE WITH DUKE ENERGY PROGRESS AND TOWN OF CLAYTON ELECTRIC UTILITIES DEPARTMENT. CONTRACTOR TO NOTIFY MICHAEL L. WATERS, PE AT (252)943-2454 WITH TOWN OF CLAYTON ELECTRIC UTILITIES AND COORDINATE HIS ATTENDANCE.



- PROPOSED ABBREVIATIONS**
- TR TOP OF SUBSTATION PAD
 - FG FINISHED GRADE
 - ER EXISTING TOP OF SUBSTATION PAD
 - EG EXISTING GRADE

- EXISTING CONDITIONS ABBREVIATIONS**
- R/W RIGHT OF WAY
 - U/G UNDERGROUND
 - W/WV WATER VALVE OR METER
 - F/FH FIRE HYDRANT
 - T TELEPHONE MANHOLE
 - S SANITARY MANHOLE
 - SN SIGN
 - LP LIGHT POLE
 - CONC CONCRETE
 - FO FIBER OPTIC
 - DI DROP INLET
 - CB CATCH BASIN
 - INV INVERT ELEVATION
 - DIP DUCTILE IRON PIPE
- EXISTING CONDITIONS LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY (NOT SURVEYED)
 - PROPERTY CORNER (MON)
 - PROPERTY CORNER (IRF)
 - PROPERTY CORNER (IPF)
 - UNDERGROUND SEWER
 - WOVEN WIRE FENCE
 - CHAIN LINK FENCE
 - UNDERGROUND ELECTRIC
 - OVERHEAD ELECTRIC
 - TREE/HEDGE LINE
 - STORM DRAIN
 - FEMA FLOOD ZONE LINES

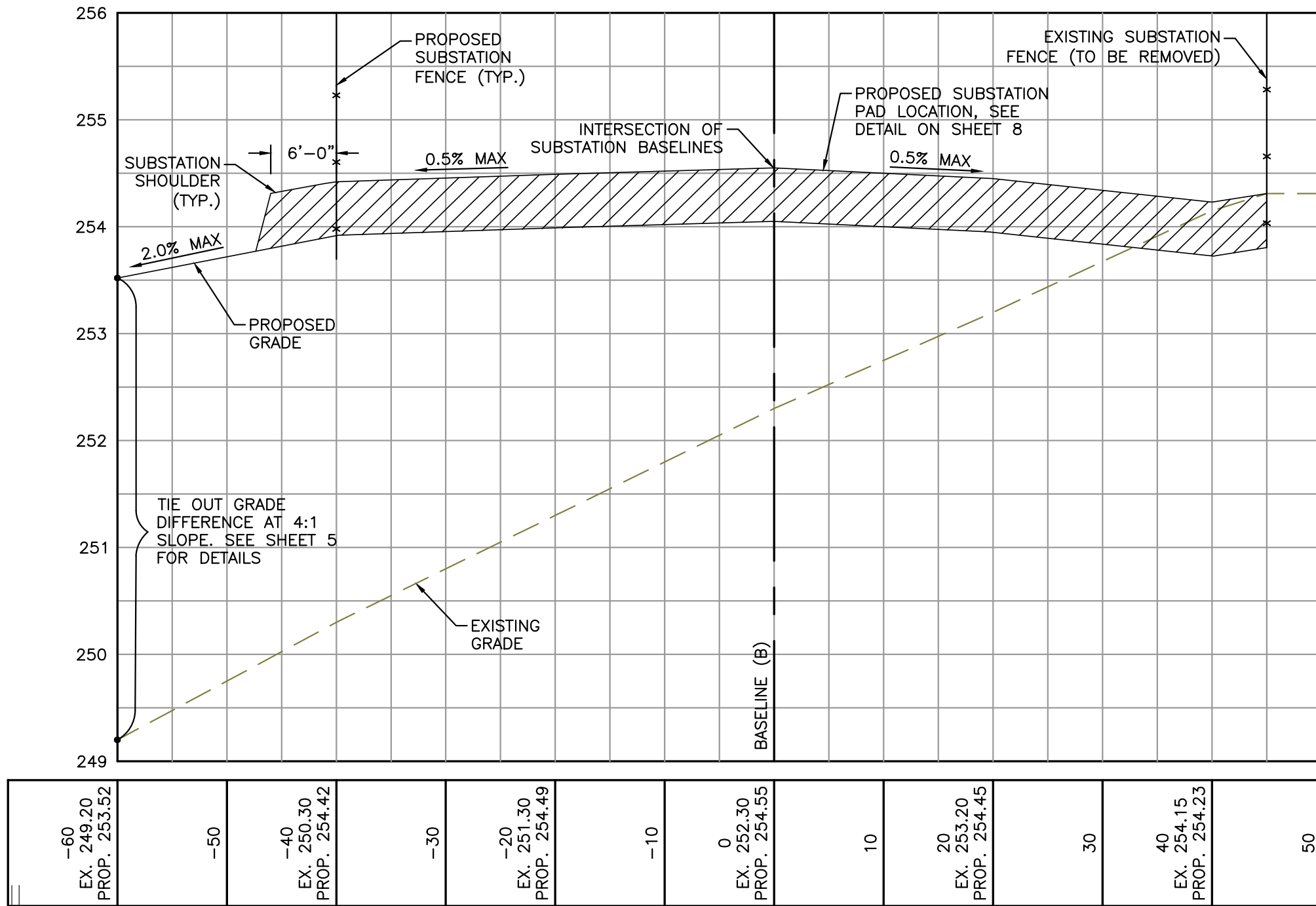


REV	FILE NO.	DATE	REVISION	DRAWN	CHECKED	APPROVED
2	69351	7/18/16	100% REVISED PER TOWN COMMENTS	JRD	EBS	LWM
1	69351	6/22/16	95% REVISED PER TOWN COMMENTS	JRD	SRN	LWM
0	69351	5/31/16	90% FOR PERMIT REVIEW	JRD	SRN	LWM
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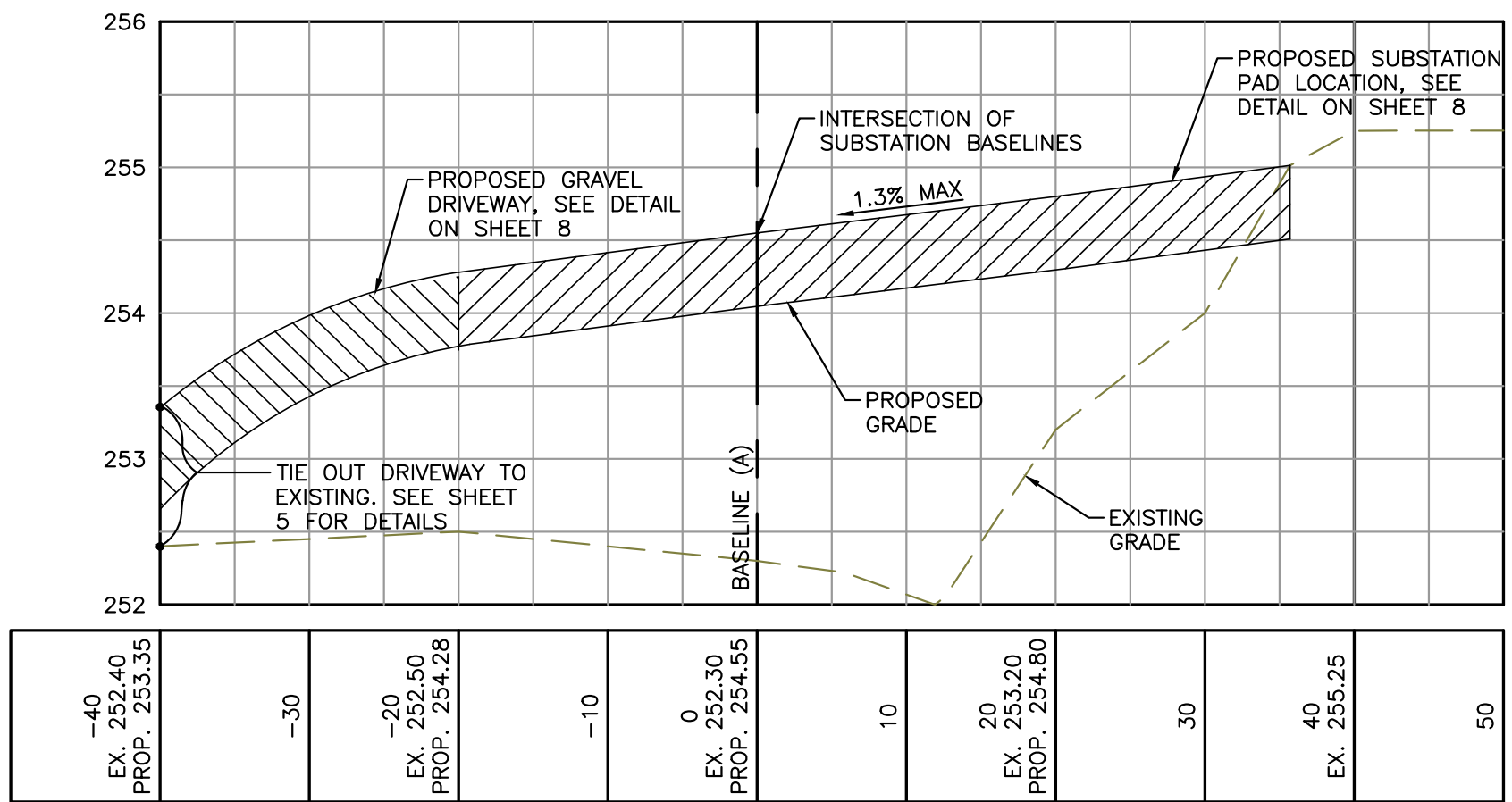
Dewberry
Dewberry Engineers Inc.
2610 WYCLIFF ROAD
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DUKE ENERGY PROGRESS
410 SOUTH WILMINGTON STREET
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PHONE: 919.546.8123

TITLE CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01 S. FAYETTEVILLE STREET CLAYTON, NC 27520 TOWN OF CLAYTON # 2016-116-SP DETAILED PAD GRADING			SIZE D	DEP PROJECT NO. 69351	SHEET 9 OF 9
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SECTION ALONG BASELINE (A)
SCALE: 1"=10' HORIZONTAL
1"=1' VERTICAL



SECTION ALONG BASELINE (B)
SCALE: 1"=10' HORIZONTAL
1"=1' VERTICAL

CLAYTON 115KV SUBSTATION EXPANSION ADD 5th FCB TO BANK 151009A01



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
July 25, 2016

STAFF REPORT

Application Number: 2016-121-RZ
Project Name: Performance Glass Rezoning

NC PIN / Tag #: 164800-41-0562 / 05F02018E
Town Limits/ETJ: ETJ
Overlay: Scenic Highway Overlay
Applicant: J4 Holdings Group LLC (c/o Lisa Johnson, Jamie Johnson, Russell Rawlins)
Owner: J4 Holdings Group LLC
Location: Off of NC 42 HWY W, west of the intersection of NC 42 and Government Road

Public Noticing:

- Neighborhood meeting: June 3, 2016
- Signs Posted prior to July 15, 2016
- Letters mailed to adjacent property owners prior to August 26, 2016
- Newspaper ad noticed August 24, 2016 and August 31, 2016

REQUEST: Request to rezone the split-zoned parcel from B-3 and R-E to B-3.

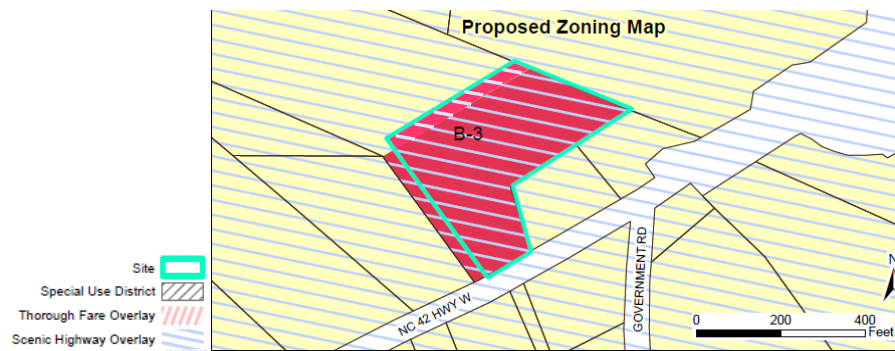
SITE DATA:

Acreage: ±0.51 acres of a 3.06 acre parcel
Existing Uses: Contractor's Office with outdoor storage as an accessory use



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-Estate	Vacant
South	Residential-Estate	Residential
East	Residential-Estate	Residential
West	Residential-Estate, Highway Business	Vacant

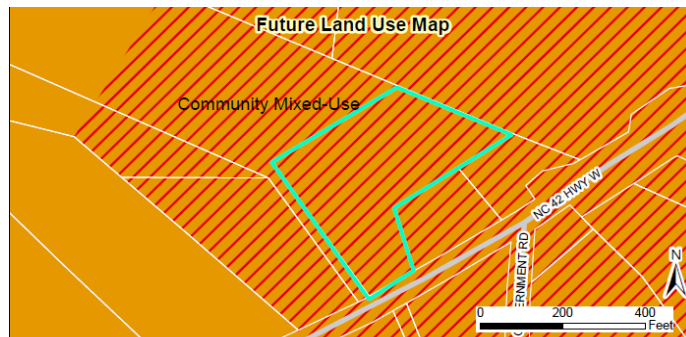


STAFF ANALYSIS AND COMMENTARY:

Overview

The applicant is requesting to rezone the subject parcel, which is currently split-zoned, from Residential-Estate (R-E) and Highway Business (B-3) to Highway-Business (B-3). After this property was brought into Clayton's ETJ, the property owners swapped a western portion of the parcel for a portion of land to the north. Because of this, the parcel lines changed but the zoning for these portions of land did not which caused the property to be split-zoned. The applicant is now requesting that the parcel be rezoned to Highway Business (B-3) so that the entire parcel of land has the same zoning.

The current use of the site is considered to be a contractor's office, with outdoor storage as an accessory use. The facility focuses on the fabrication of glass for buildings, offices, and homes. All operations take place indoors, with some outdoor storage of materials and fleet vehicles. This use is permitted in the Highway-Business (B-3) zoning district.



Compatibility with Surrounding Land Uses

The zoning of the property is currently Residential-Estate (R-E) and Highway-Business (B-3), but the site has been operating with a commercial use since before the property was brought into the Town's ETJ. The majority of the property is zoned Highway Business currently, and the existing use of the property will not be changing due to the rezoning. Therefore, rezoning the property so that it is entirely zoned Highway-Business would not change the compatibility the site has with surrounding land uses.

Consistency with the 2040 Comprehensive Plan

The proposed zoning change is consistent with Clayton's 2040 Comprehensive Plan.

CONSIDERATIONS:

- Rezoning is decided by the Town Council. The Planning Board shall make a recommendation to the Town Council.
- When adopting or rejecting the rezoning, the Town Council shall approve a statement describing whether its action is consistent with adopted plans and/or policies of the Town and explaining why the Council considers the action taken to be reasonable and in the public interest.
- If approved, this rezoning will result in a modification to amend the official zoning map for The Town of Clayton.

APPROVAL CRITERIA:

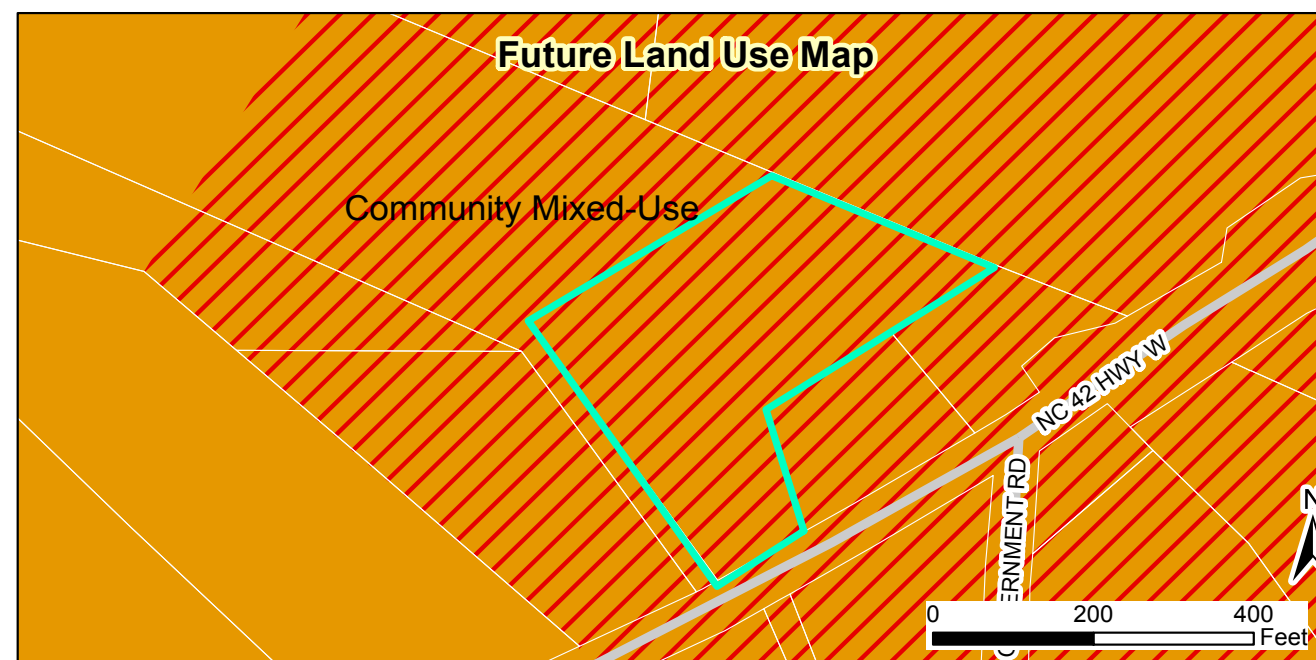
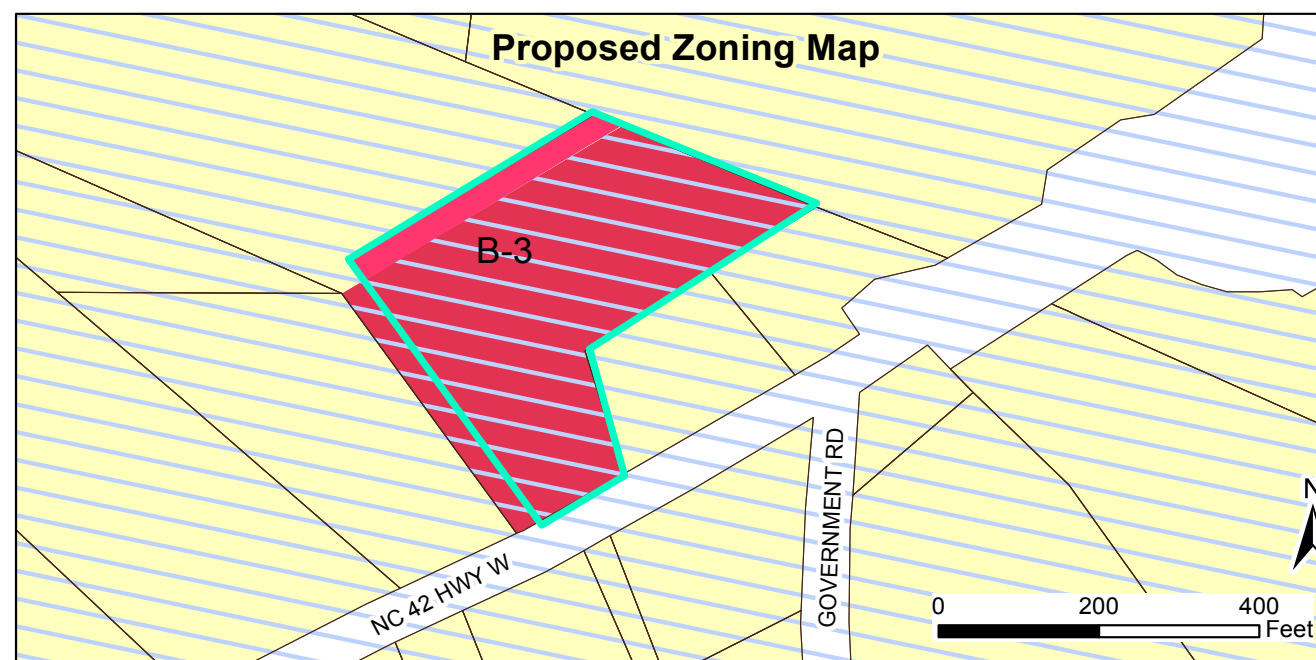
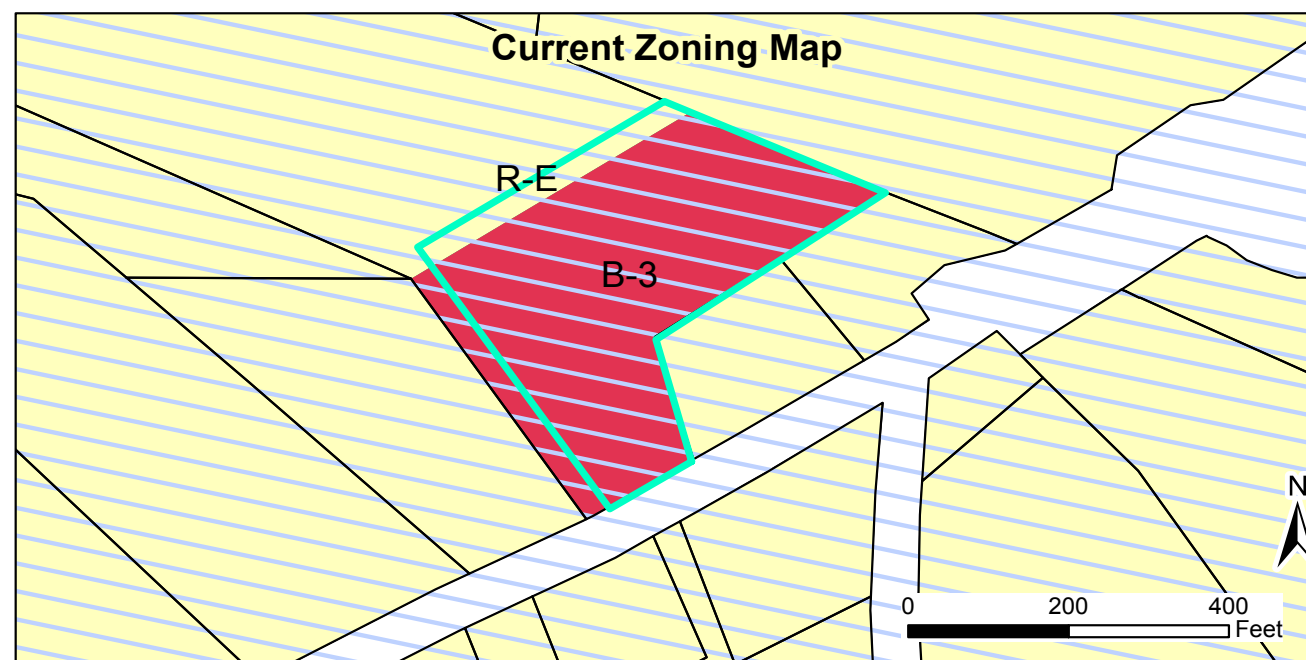
The applicant has addressed the Rezoning Approval Criteria outlined in §155.704. The applicant's responses are incorporated as an attachment to the Staff Report.

STAFF RECOMMENDATION:

Staff is recommending approval of the rezoning request.

ATTACHMENTS:

- 1) Staff Report Map
- 2) Application
- 3) Neighborhood Meeting Materials

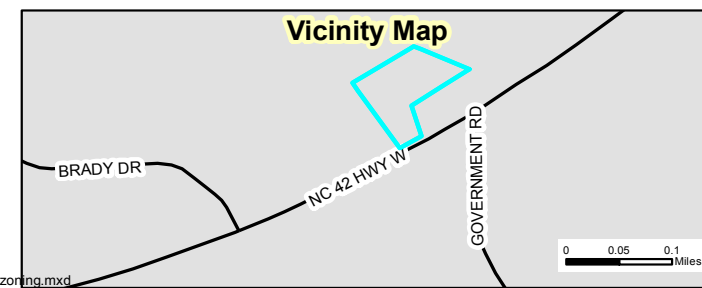


2016-121-RZ Performance Glass Rezoning
Request: To rezone a portion of the property from R-E to B-3
2016-120-SP Performance Glass Major Site Plan
Request: Major Site Plan for building expansion and outdoor storage expansion

Applicant: J4 Holdings Group LLC, Lisa Johnson
 Property Owners: J4 Holdings Group LLC
 Parcel ID: 164800-41-0562
 Tag #: 05F02018E



- Railroads —+—+
- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay
- Parcels_03202015_All



Document Path: O:\PLANNING\REZONING\Rezoning\2016\2016-121-RZ Performance Glass\Maps\2016-121-RZ Performance Glass Rezoning.mxd



TOWN OF CLAYTON

Planning Department

111 E. Second Street, Clayton, NC 27520

P.O. Box 879, Clayton, NC 27528

Phone: 919-553-5002

Fax: 919-553-1720

REZONING APPLICATION

Pursuant to Article 7, Section 155.704 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town Council to amend the Official Zoning Map.

Application Fees: **Standard Rezoning Fee: \$500.00**
Rezoning to Planned Development District Fee: \$1,000.00 + \$5.00 acre
Advertisement Fee: \$100.00
All fees are due when the application is submitted.

Note on Planned Developments: Requests to rezone to a Planned Development District must be accompanied by a Master Plan submittal. Master Plans are approved as Preliminary Subdivision Plats – please submit a concurrent Preliminary Subdivision Plat application and Master Plan.

SITE INFORMATION

Name of Project: Performance Glass Inc. Acreage of Property: 3.33
County Tag Number: 05F02018E NC PIN: _____
Address/Location: 2840 NC HWY 42 WEST CLAYTON NC 27520
Existing Zoning District: Residential Estate
Proposed Zoning District: Highway Business

APPLICANT INFORMATION

Applicant: J4 Holdings Group LLC.
Mailing Address: 303 Federal Rd. Benson NC. 27504
Phone Number: 919-625-1676 Fax: 919-783-8494
Contact Person: Lisa Johnson
Email Address: lisajohnson@performanceglassinc.com

FOR OFFICE USE ONLY

Date Received: _____ Amount Paid: \$600⁰⁰ File Number: 2016-121-122

version 1/6/2016

Page 1 of 1

PROPERTY OWNER INFORMATION

Name: J4 Holdings Group LLC.

Mailing Address: 303 Federal Rd. Benson NC. 27504

Phone Number: 919-625-1676

Fax: 919-783-8494

Email Address: lisajohnson@performanceglassinc.com

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

The property line was redrawn so the plot #164800-32-0072, belonging to Johnny Smith wouldn't be come land lock. There is approximately 32' x 343' down the West side of the property that was add to Mr. Smiths property. At the same time there was approximately 32' x 361' across the North side of the property (that was Mr. Smiths') was added to plot #164800-41-0562, now belonging to J4 Holdings Group LLC. We are needing to have the small strip rezoned B-3.

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Rezoning application.

To be completed by the applicant:			For staff use only:		
Submit 9 copies of all materials unless otherwise noted or directed by staff	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: <u>5/9/16</u>	☒	☐			
2. Review Fee (\$500 for standard rezoning <u>OR</u> \$1,000 + \$5.00/acre for Planned Developments) and Advertisement Fee (\$100)	☒				
3. Completed application	☒				
4. Owner's Consent Form <i>Required if applicant is not property owner.</i>	☐	☒			
5. A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department).	☒				
6. <i>If property to be rezoned is a portion of a parcel:</i>					
- Property legal description typed (10 pt. font or greater, and also submitted electronically in MS Word format.)	☐	☒			
- Plat showing property to be rezoned, matching legal description.	☒	☐			
7. Adjacent property owners list	☒	☐			
8. Neighborhood meeting notice letter (1 copy) <i>See sample letter and meeting requirements included in this packet</i>	☒				
9. Neighborhood meeting summary form (1 copy) <i>Included in this packet</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				
10. Stamped, addressed, empty envelopes with no return address, using the adjacent property owner list (1 set) <i>This for a public notice of the public hearing mailed by the Town – thus, neighbors will receive both a neighborhood meeting letter from the applicant, and a notice of the hearing from the Town.</i>	☒				

APPROVAL CRITERIA

All applications for a Rezoning must address the following findings:

1. Consistency with the adopted plans of the Town.

Yes

2. Suitability of the subject property for uses permitted by the current vs. the proposed district.

Yes

3. Whether the proposed change tends to improve the balance of uses, or meets specific demand in the Town.

Yes

4. The capacity of adequate public facilities and services including schools, roads, recreation facilities, wastewater treatment, potable water supply and stormwater drainage facilities is available for the proposed use.

5. It has been determined that the legal purposes for which zoning exists are not violated.

Yes

6. It has been determined that there will be no adverse effect upon adjoining property owners unless such effect can be justified by the overwhelming public good or welfare.

Yes

7. It has been determined that no one property owner or small group of property owners will benefit materially from the change to the detriment of the general public.

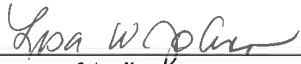
Yes

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Clayton to amend the Zoning Ordinance and change the Official Zoning Map of the Town of Clayton as requested. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Lisa W. Johnson

Print Name



Signature of Applicant

06/06/16

Date

NEIGHBORHOOD MEETING INFORMATION

Purpose:

The purpose of the Neighborhood Meeting is to inform the surrounding property owners of the nature of the proposed land use and/or development features, answer questions, respond to concerns, and solicit comments.

Meeting Date:

The meeting must be held at least ten (10) calendar days prior to the Planning Board meeting.

Meeting Time & Location:

The meeting must be held no earlier than 6:00 pm Monday through Friday, and must be held in a location generally accessible to residents within close proximity of the request. The meeting space must be able to comfortably accommodate everyone that receives an invitation.

Meeting Notice Mailing requirements:

1. The applicant must contact all adjacent property owners via first class mailing (see sample letter).
2. The mailing must include all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the subject property. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property.
3. The notice must be mailed at least ten (10) calendar days but not more than twenty-five (25) days prior to the date of the Neighborhood Meeting.

Information provided at the Neighborhood Meeting:

At a minimum, the following materials must be present for inspection at a Neighborhood Meeting:

1. A copy of the project application.
2. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
3. A map, drawing, or other depiction of the proposed land use change or development proposal.

Information provided to Planning Department:

Alert the Planning Department once the date, location, and time of the Neighborhood Meeting are determined. Planning staff may attend the Neighborhood Meeting to answer process/code questions.

Deliver the following items to the Planning Department at least ten (10) calendar days prior to the Planning Board meeting in electronic or hard copy format:

- ☒ Adjacent Property Owner's List (aka "mailing list")
- ☒ Copy of the letter mailed
- ☒ Attendance Roster (aka "sign-in sheet")
- ☒ Neighborhood Meeting Summary Form with minutes (see below)

ADJACENT PROPERTY OWNERS LIST

Project Name: Rezoning/Fence Relocation & Potential Building Expansion

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05F02018E	J4 HOLDINGS GROUP, LLC	2840 NC HWY 42 W, CLAYTON, NC 27520
05F02018C	JOHNNY BRIAN SMITH	2850 NC HWY 42 W, CLAYTON, NC 27520
05F02018B	DIANNE SMITH STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05F02039A	CLEE B JOHNSON LIVING TRUST	2740 NC HWY 42 W, CLAYTON, NC 27520
05F02017	BROOKS DENMARK LLC	2104 BREEZE ROAD, RALEIGH, NC 27608-1436
05F02019C	PHILLIP AND DIANNE STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05F02019B	JOHNNY SMITH & DIANNE STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05G03021A	HAYWOOD AND PHYLLIS JOHNSON	257 JOHNSON ESTATE ROAD, CLAYTON, NC 27520
05F02018D	PHILLIP AND DIANNE STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05F02019E	PHILLIP AND DIANNE STARLING	2900 NC HWY 42 2, CLAYTON, NC 27520

PERFORMANCE GLASS, INC.
2840 NC HWY 42 WEST | CLAYTON | NC | 27520
919.782.8001 Ext 1

May 24, 2016

Dear Adjacent Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use change or development proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a Neighborhood Meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: 6/3/16 Meeting Time: 7:30 PM

Meeting Location: 2840 NC Hwy 42 West. Clayton NC. 27520

Type of Application: Rezoning/Fence Relocation & Potential Building Expansion

Project/proposal property address: 2840 NC Hwy 42 West. Clayton NC. 27520

Description of project/proposal: Major Modification to an approved site plan

Relocation of fence & possible future building expansion

At a minimum, the following will be available for your inspection at the Neighborhood Meeting:

1. A copy of the project application.
2. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
3. A map, drawing, or other depiction of the proposed land use change or development proposal.

A map is enclosed with this letter showing the location of the property that is subject to this application for land use change and/or development proposal.

If you have any questions prior to or after this meeting, you may contact us at **919-782-8001 ext 1** and ask to speak with Lisa Johnson . You may also contact the Planning Department at 919-553-5002.

Sincerely,

Lisa W. Johnson
President/Owner

Cc: Town of Clayton Planning Dept.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: Rezoning/Fence Relocation & Potential Building Expansion

Application: Major Site Plan

Location/Date: 2840 NC HWY 42 West. Clayton NC 27520 6/3/16

	NAME	ADDRESS
1	Benjamin B. Johnson	303 Federal Rd Benson, NC 27504
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
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NEIGHBORHOOD MEETING SUMMARY FORM

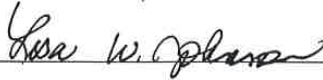
FILL OUT THE FOLLOWING:

Application: J4 Holdings Group LLC

Date of Mailing: 5/24/16

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached) ten days prior to the Neighborhood Meeting:

Printed Name: Lisa Johnson

Signature: 

Date of Meeting: 6/3/16

Time of Meeting: 7:30 PM

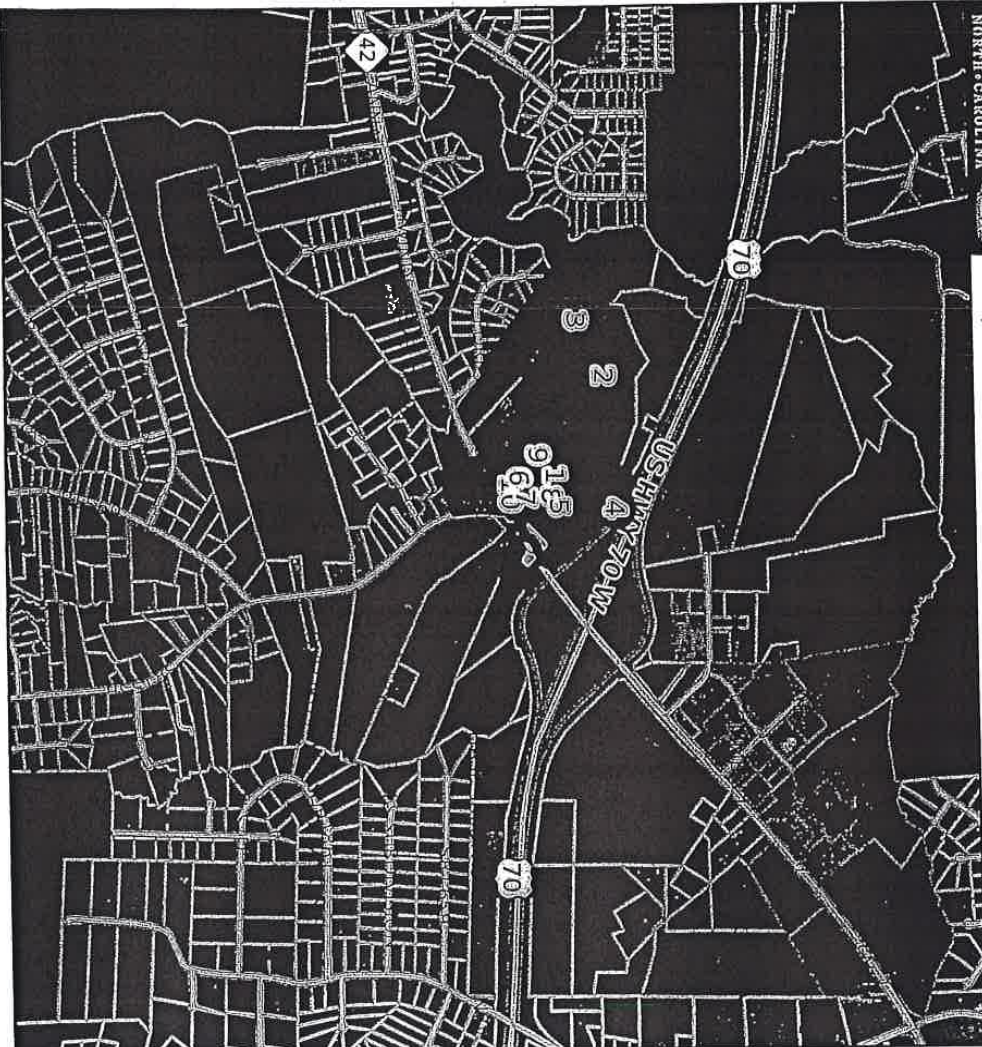
Location of Meeting: 2840 NC Hwy 42 West Clayton NC 27520

Meeting Summary/Minutes: *provide a summary of the discussion held at the meeting, including issues raised and any resolution discussed, and any changes made to the application as a result of the meeting.*

No one showed up for meeting.

Please write clearly (or submit a typed summary). Use additional sheets if necessary.

*** DISCLAIMER ***
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Result 1

id: 05F02018E
Tag: 05F02018E
Tax Unique Id: 4277805
Owner Name 1: J4 HOLDINGS GROUP LLC
Owner Name 2:
Mail Address 1: 303 FEDERAL RD
Mail Address 2:
Mail Address 3: BENSON, NC 27504-8341
Book: 04567
Page: 0129

Result 2

id: 05F02018C
Tag: 05F02018C
Tax Unique Id: 4425942
Owner Name 1: SMITH, JOHNNY BRIAN
Owner Name 2:
Mail Address 1: 2850 NC 42 WEST
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520
Book: 03527
Page: 0874

Scale: 1:20120 - 1 in. = 1676.66 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)



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Result 3

id: 05F02018B
Tag: 05F02018B
Tax Unique Id: 4410649
Owner Name 1: STARLING, DIANNE SMITH
Owner Name 2: STARLING, PHILLIP D
Mail Address 1: 2900 NC HWY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01484
Page: 0563

Result 4

id: 05F02039A
Tag: 05F02039A
Tax Unique Id: 4370870
Owner Name 1: CLEE B JOHNSON LIVING
TRUST
Owner Name 2: DENMARK, BROOKS
REMAINDER
Mail Address 1: 2740 NC HWY 42 WEST
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 03979
Page: 0089

Result 5

id: 05F02017
Tag: 05F02017
Tax Unique Id: 4316708
Owner Name 1: BROOKS DENMARK LLC
Owner Name 2:
Mail Address 1: 2104 BREEZE RD
Mail Address 2:
Mail Address 3: RALEIGH, NC 27608-1436
Book: 03339
Page: 0379

Result 6

id: 05F02019C
Tag: 05F02019C
Tax Unique Id: 4316713
Owner Name 1: STARLING, PHILLIP D
Owner Name 2: STARLING, DIANNE S
Mail Address 1: 2900 N C 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-8356
Book: 00833
Page: 0087

Result 7

id: 05F02019B
Tag: 05F02019B
Tax Unique Id: 4316712
Owner Name 1: SMITH, JOHNNY BRIAN
Owner Name 2: STARLING, DIANNE SMITH
Mail Address 1: 2900 NC HIGHWAY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-9229
Book: 01441
Page: 0044

Result 8

id: 05G03021A
Tag: 05G03021A
Tax Unique Id: 4317951
Owner Name 1: JOHNSON, HAYWOOD
ARTHUR
Owner Name 2: JOHNSON, PHYLLIS PEARL
Mail Address 1: 257 JOHNSON ESTATE ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01374
Page: 0083



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Result 9

id: 05F02018D
Tag: 05F02018D
Tax Unique Id: 4316702
Owner Name 1: STARLING, DIANNE SMITH
Owner Name 2: STARLING, PHILLIP D
Mail Address 1: 2900 NC HWY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01441
Page: 0046

Result 10

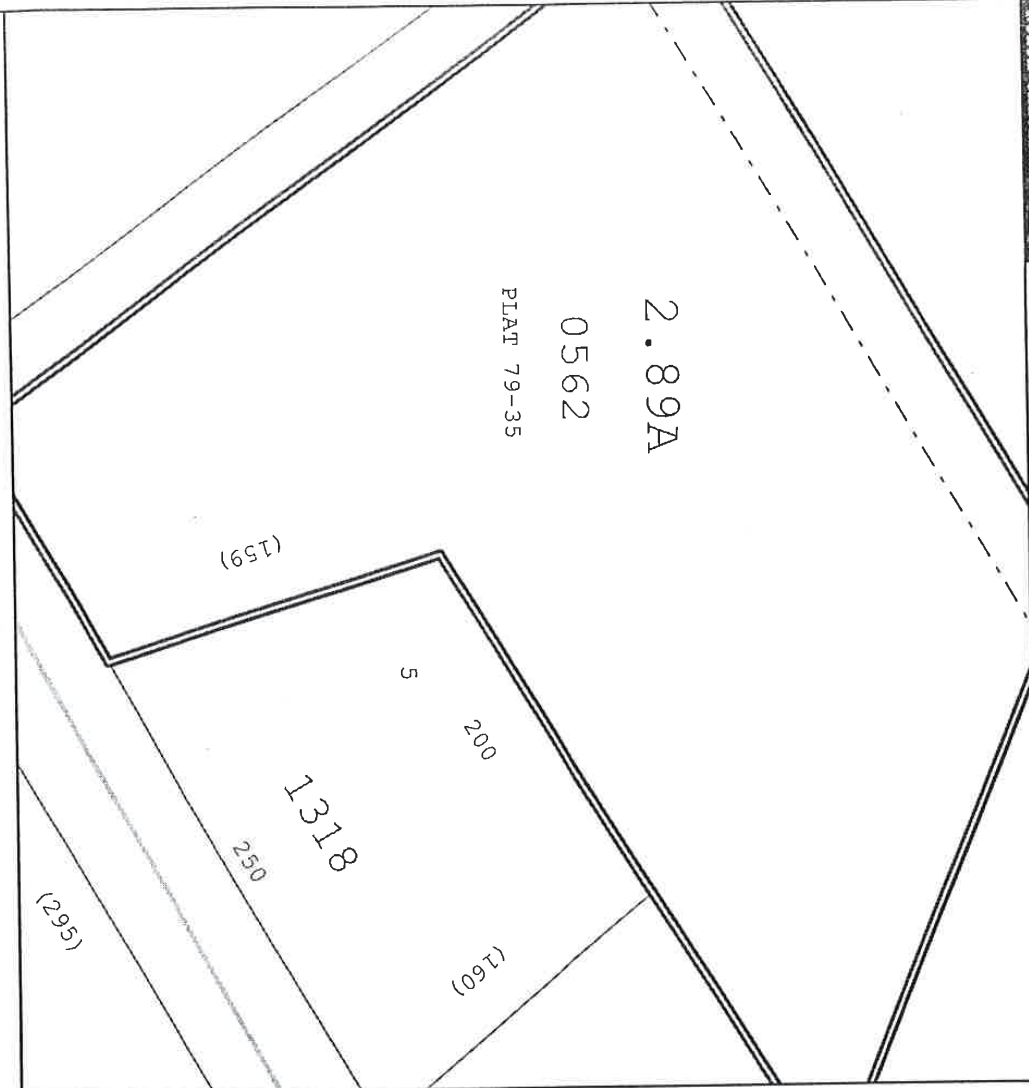
id: 05F02019E
Tag: 05F02019E
Tax Unique Id: 4360011
Owner Name 1: STARLING, DIANNE SMITH
Owner Name 2: STARLING, PHILLIP D
Mail Address 1: 2900 NC HWY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01484
Page: 0563



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Parcel Report

X Coordinate: 2144119.211427
Y Coordinate: 681683.01233762
id: 05F02018E
Tag: 05F02018E
Tax Unique Id: 4233993
NCPin: 164800-41-0562
Mapsheet No: 1648
Owner Name 1: GOOFOFF LLC
Owner Name 2:
Mail Address 1: 2800 ROWLAND RD
Mail Address 2:
Mail Address 3: RALEIGH, NC 27615-5633
Site Address 1: 2840 NC 42 HWY
Site Address 2: CLAYTON, NC 27520-
Book: 04363
Page: 0342
Market Value: 702950
Assessed Acreage: 2.89
Calc. Acreage: 3.06
Sales Price: 850000
Sale Date: 2013-10-02
Township: Clayton
Water District: Clayton Water District
ETJ: Clayton
City Limits: N/A
Town Zoning: B-3
County Zoning: N/A
Overlay Zoning: N/A



Scale: 1:918 - 1 in. = 76.46 feet
(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

Planning Board
July 25, 2016

STAFF REPORT

Application Number: 2016-120-SP
Project Name: Performance Glass Major Site Plan

NC PIN/Tag #: 164800-41-0562/05F02018E
Town Limits/ETJ: ETJ
Overlay: Scenic Highway Overlay
Applicant: J4 Holdings Group LLC
Owner: J4 Holdings Group LLC
Location: Located off of NC 42 HWY W, west of the intersection for NC 42 W and Government Road

Public Noticing:

- Neighborhood meeting June 3, 2016
- Sign posted prior to July 15, 2016

REQUEST: The applicant is requesting major site plan approval for an expansion of outdoor storage yard and for a new building addition

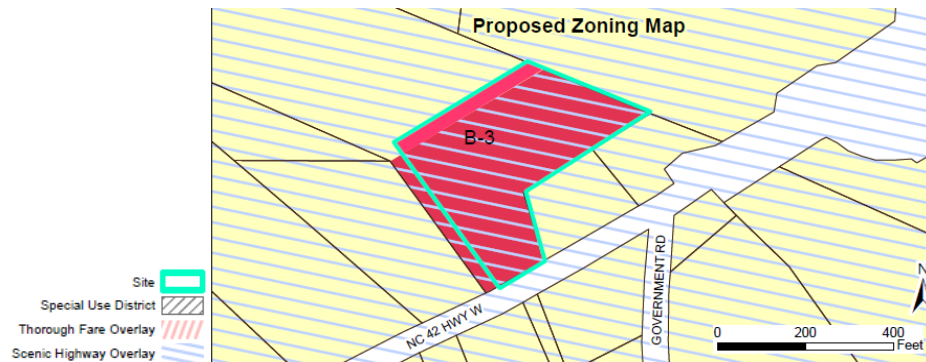
SITE DATA:

Acreage: 3.06 acres
Existing Use: Contractor's Office with outdoor storage as an accessory use



ADJACENT ZONING AND LAND USES:

Direction	Zoning	Existing Use
North	Residential-Estate	Vacant
South	Residential-Estate	Residential
East	Residential-Estate	Residential
West	Residential-Estate	Vacant



DEVELOPMENT DATA:

Existing Uses:	Contractor's office with outdoor storage as an accessory use
Proposed Uses:	Contractor's Office, expansion of existing building and outdoor storage
Buildings:	1
Number of Stories:	1 Story
Existing Building Square Footage:	8,217 square feet
Proposed Square Footage:	3,150 additional square feet= 11,36 square feet
Impervious Surface:	30%
Parking:	13 existing spaces, with 1 existing handicap space
Access/Streets:	Access is located off of NC 42 HWY W

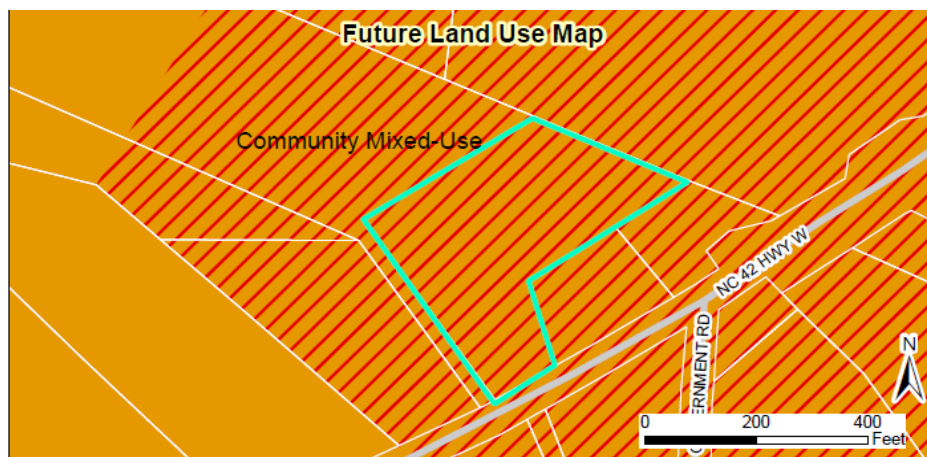
STAFF ANALYSIS:

Overview

The applicant is requesting Major Site Plan approval in order to expand the outdoor storage area and to add a building addition to the site. The site currently operates as a contractor's office that fabricates glass products for buildings, offices, and homes. The operations of the business occur indoors, but there is some outdoor storage that takes place on the property, including storage of fleet vehicles. The existing storage yard is asphalt and is currently fenced in by a chain linked fence. The applicant is proposing to expand to relocate the fence so that

the storage yard is larger. The new portion of the storage yard is proposed to be gravel, which has been reviewed and approved by the Town Engineer, as required by the UDC. In addition to moving the fence in order to increase the size of the storage yard, the applicant also proposes to re-locate the fence so that the parking lot is enclosed for the safety of employees.

Additionally, the applicant is proposing a 3,150 square foot building addition at the northern portion of the site. This addition is part of the long-term plans for Performance Glass, so the applicant wishes to gain approval for this in case they are able to move forward with the expansion in the near future. The applicant has not submitted elevations for the addition, but these shall be required to be approved by Planning staff before the addition may be built. The addition shall also be required to match the materials and features of the existing structure on the site.



Consistency with Adopted Plans:

- **2040 Comprehensive Plan**
The use is consistent with the Future Land Use of the Comprehensive Plan 2040.
- **Unified Development Code**
The proposed development meets requirements in the Unified Development Code (UDC).

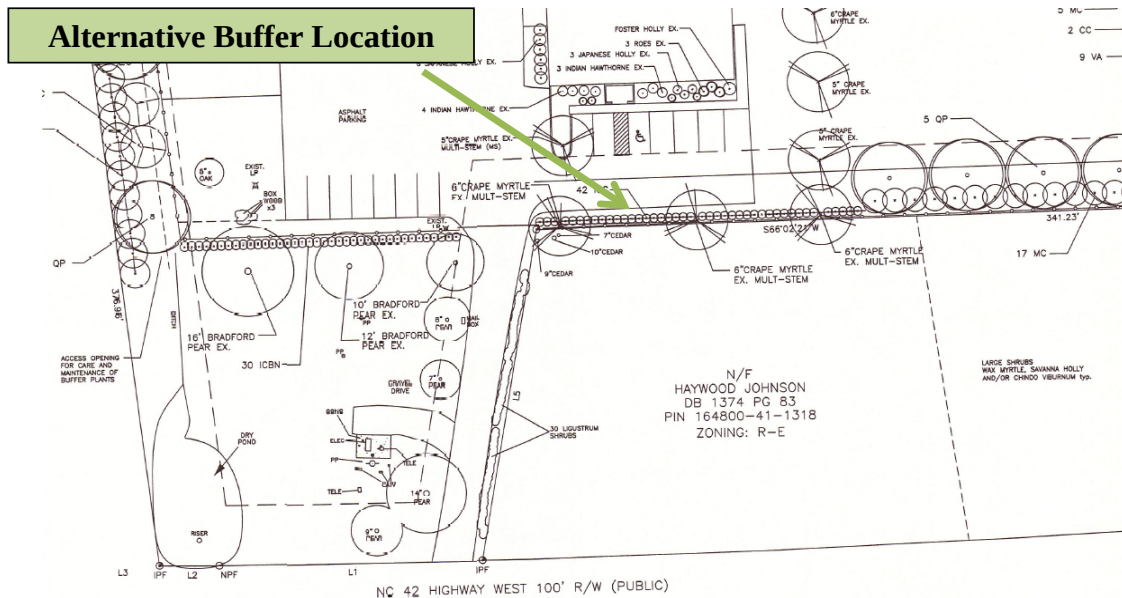
Outdoor Storage

The applicant is expanding the outdoor storage yard as part of this application. The outdoor storage will be located on the western side of the building. The existing storage area is asphalt, but the expanded area will consist of gravel. The applicant is required to meet all requirements of outdoor storage noted within the UDC Section 155.311(D), and has noted on the plans that the site shall comply with these requirements. The expansion of the outdoor storage yard shall be approved by the Planning Board, per UDC requirements.

Landscaping/Buffering

As it currently exists, there is minimal screening of the property and its outdoor storage. However, as required by the UDC the applicant is proposing a Class "C" landscape buffer along the northern, eastern, and western property lines because these adjacent properties are all zoned residential. On the southeastern portion of the property the applicant is proposing an alternative buffer due to the lack of space for plantings between the existing pavement on the site and the property line. Instead of a Class "C" landscape buffer, the applicant is proposing to add a row of shrubs in order to provide screening. This is in addition to the three existing trees

located along that property line. While the adjacent property along this area is zoned residential, staff feels that the proposed alternative buffer in this area is consistent with the intent of the UDC. Staff is also comfortable with this buffer since there will be no outdoor storage located along this property line.



Architecture/Design

The building expansion shall be required to match all materials and architectural features of the existing structure.

CONSIDERATIONS:

- Planning Board approves major site plans.
- Planning Board approves outdoor storage.

APPROVAL CRITERIA:

The applicant has addressed the Major Site Plan Approval Criteria outlined in UDC Section 155.707.

CONDITIONS OF APPROVAL

The following Conditions of Approval are recommended:

1. If approved by the Planning Board, three copies of the final site plan meeting (and including) the Conditions of Approval shall be submitted to the Planning Department for final approval.

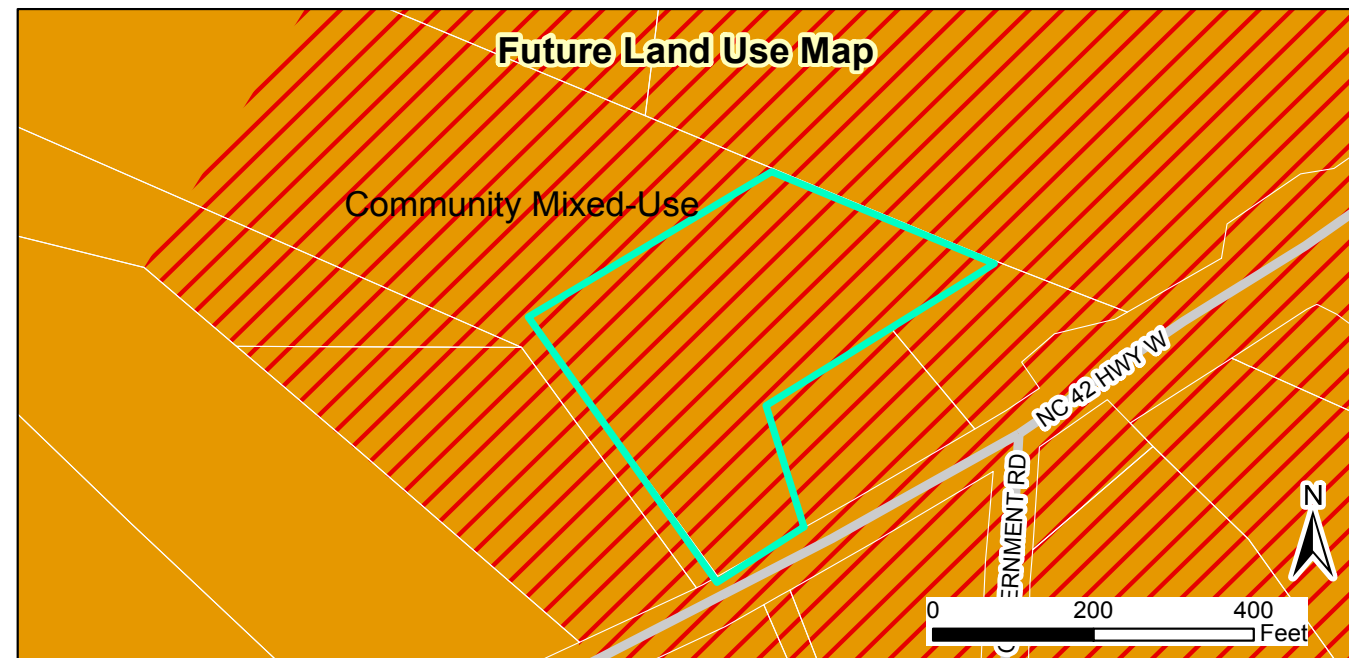
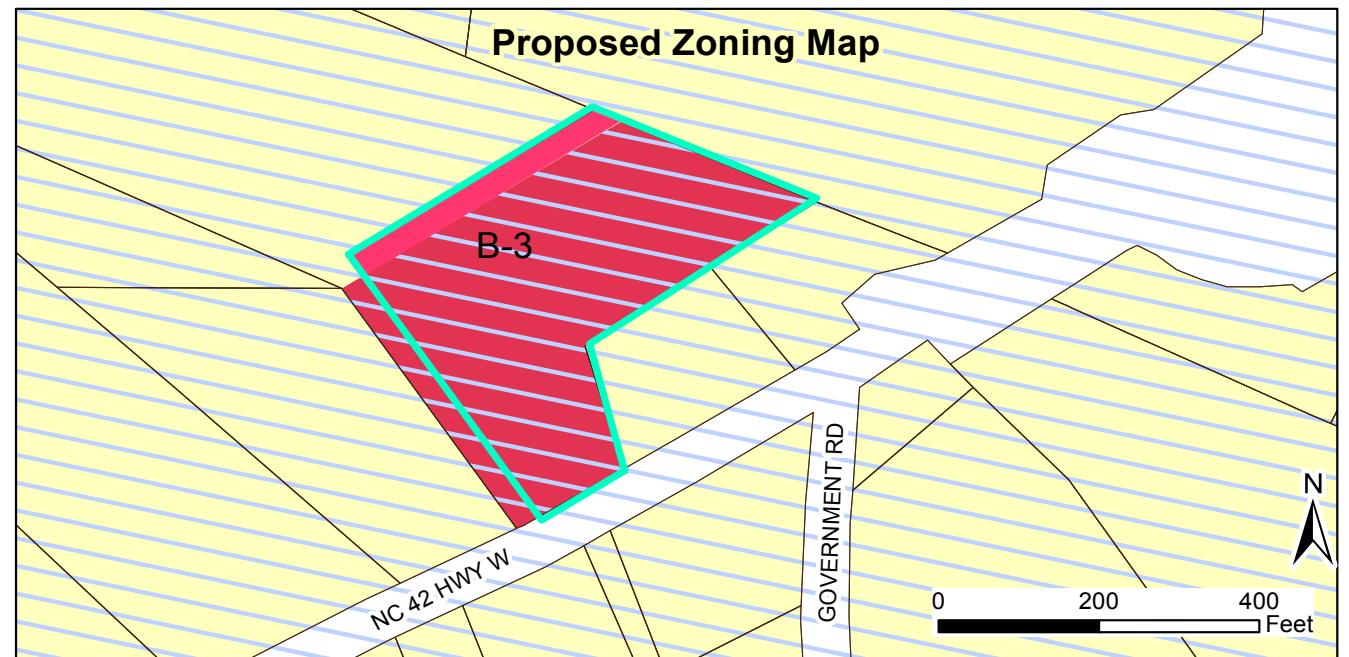
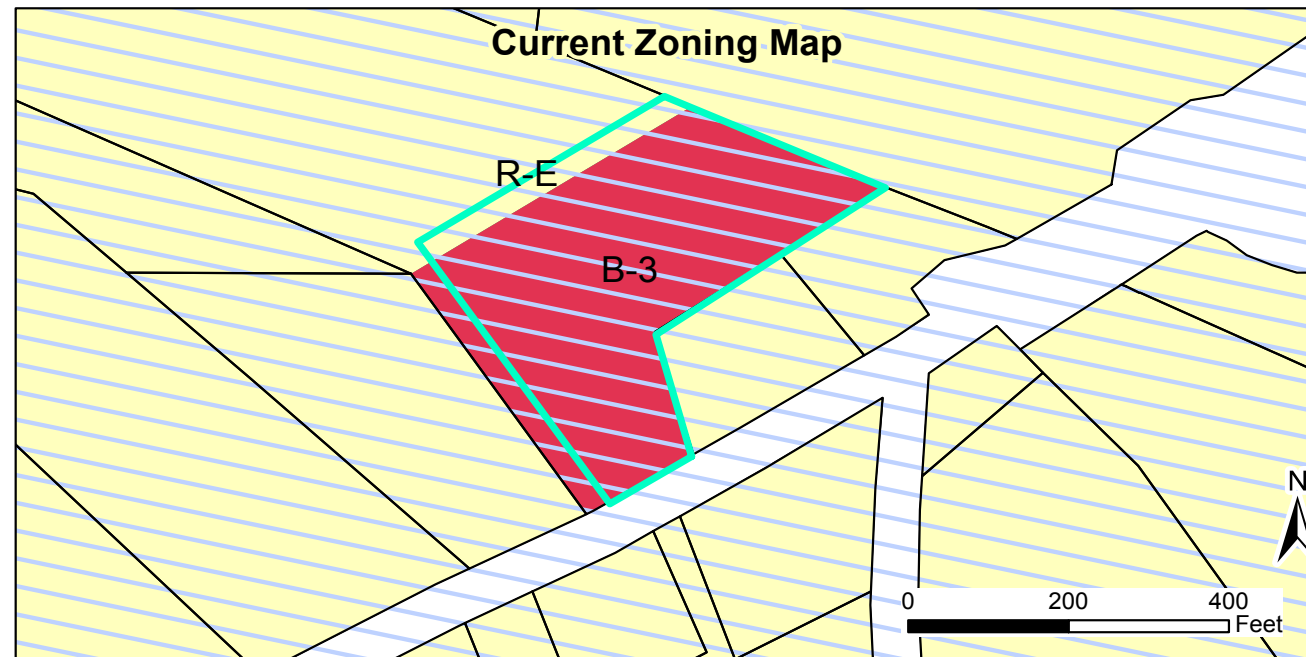
2. Development fees shall be paid prior to building permit issuance.
3. The elevations of the building addition shall be submitted to the Planning Department for review and approval before being developed. The architecture of the addition shall match or exceed the style, character, and materials of the current building.
4. Limited outdoor storage shall not be more than 12' in height and shall be screened from view from the public right-of-way, public parking areas, or adjacent residential developments by a 100% opaque visual barrier or screen, as required by the UDC.
5. All outdoor storage shall be located at least 15 feet from the public right-of-way and any abutting residential use or residentially-zoned district, as required by the UDC.

STAFF RECOMMENDATION:

Staff is recommending approval with conditions of the proposed Major Site Plan (2016-96-SP).

ATTACHMENTS:

- 1) Staff report maps
- 2) Application
- 3) Neighborhood Meeting Materials
- 4) Site Plan

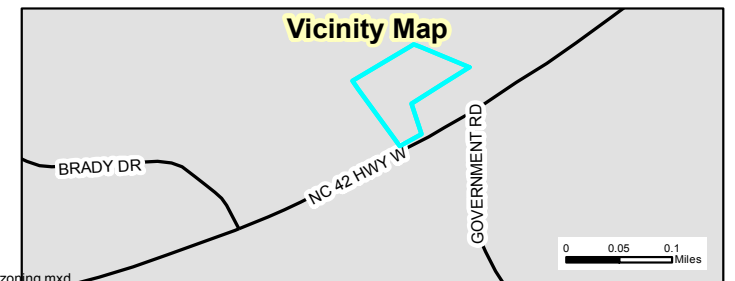


2016-121-RZ Performance Glass Rezoning
Request: To rezone a portion of the property from R-E to B-3
2016-120-SP Performance Glass Major Site Plan
Request: Major Site Plan for building expansion and outdoor storage expansion

Applicant: J4 Holdings Group LLC, Lisa Johnson
 Property Owners: J4 Holdings Group LLC
 Parcel ID: 164800-41-0562
 Tag #: 05F02018E



- Railroads —+—+
- Site
- Special Use District
- Thorough Fare Overlay
- Scenic Highway Overlay
- Parcels_03202015_All



Document Path: O:\PLANNING\REZONING\Rezoning\2016\2016-121-RZ Performance Glass\Maps\2016-121-RZ Performance Glass Rezoning.mxd



Town of Clayton
Planning Department
111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

MAJOR SITE PLAN APPLICATION

Pursuant to Article 7, Section 155.707 of the Unified Development Code, an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Planning Board to approve a Major Site Plan application. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application fee: \$500.00 + \$5.00 per acre. *All fees are due when the application is submitted.*

SITE INFORMATION

☐ New Major Site Plan

☒ Major Modification to an approved site plan
Project Modified: _____

Name of Project: Rezoning/Fence Relocation & Potential Building Expansion Acreage of Property: 3.3
County Tag #: 05F02018E NC PIN: _____
Address/Location: 2840 NC Hwy 42 West. Clayton NC. 27520

Existing Use: Commercial Proposed Use: Same

Zoning District: _____

Is project within a Planned Development? ☒ No
☐ Yes (list): _____

Is project within an Overlay District? ☒ No
☐ Yes (list): _____

FOR OFFICE USE ONLY

Date Received: <u>JUN 06 2016</u>	Amount Paid: <u>\$155.00</u>	File Number: <u>2016-120-SP</u>
-----------------------------------	------------------------------	---------------------------------

RECEIVED
TOWN OF CLAYTON
PLANNING DEPARTMENT

PROPERTY OWNER INFORMATION

Name: J4 Holdings Group LLC.
Mailing Address: 303 Federal Rd. Benson, NC 27504
Phone Number: 919-625-1676 Fax: _____
Email Address: lisajohnson@performanceglassinc.com

APPLICANT INFORMATION

Applicant: J4 Holdings Group LLC.
Mailing Address: 303 Federal Rd. Benson, NC 27504
Phone Number: 919-625-1676 Fax: _____
Contact Person: Lisa Johnson
Email Address: lisajohnson@performanceglassinc.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany a Major Site Plan application.

To be completed by the applicant:			To be completed by staff:		
<i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i>	Yes	N/A	Yes	No	N/A
1. A pre-application conference was held with Town of Clayton staff. Date: <u>5/9/16</u>	☒	☐			
2. I have referenced the <i>Plan Requirements Checklist</i> and used this as a guide	☒				
3. Site Plan Review Fee (\$500 + \$5/acre)	☒				
4. Completed application	☒				
5. Owner's Consent Form	☐	☒			
6. Plan sets meeting the requirements listed in the <i>Plan Requirements Checklist</i>	☒	☐			
7. Adjacent property owners list	☒	☐			
8. Wastewater allocation request OR verification of wastewater allocation	☐	☒			
9. Signed and sealed traffic impact analysis (2 copies) (required for projects which generate at least 100 vehicle trips at peak hour. See §155.708 of the UDC)	☐	☒			
10. Neighborhood meeting notice letter (1 copy)* <i>See sample letter and meeting requirements included in this packet</i> <i>*Not required for subdivisions that are part of an approved planned development</i>	☒	☐			
11. Neighborhood meeting summary form (1 copy) * <i>Included in this packet</i> <i>*Not required for subdivisions that are part of an approved planned development</i>	Must be submitted after neighborhood meeting is held and at least 10 days prior to Planning Board meeting.				

EXPLANATION OF PROJECT

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

Plan is to move fence to the property line, for added security and to add a gravel lay down area at the west side of the black top. Also shown on the north side of the building is a 75'-0" x 42'-0" addition that that would be considered over the next couple years.

Fence is shown at the set backs per code with green barrier shrubbery.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Planning Board of the Town of Clayton to approve the subject Major Site Plan. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Lisa W Johnson
Print Name

Lisa W Johnson
Signature of Applicant

06/06/16
Date

NEIGHBORHOOD MEETING INFORMATION

Purpose:

The purpose of the Neighborhood Meeting is to inform the surrounding property owners of the nature of the proposed land use and/or development features, answer questions, respond to concerns, and solicit comments.

Meeting Date:

The meeting must be held at least ten (10) calendar days prior to the Planning Board meeting.

Meeting Time & Location:

The meeting must be held no earlier than 6:00 pm Monday through Friday, and must be held in a location generally accessible to residents within close proximity of the request. The meeting space must be able to comfortably accommodate everyone that receives an invitation.

Meeting Notice Mailing requirements:

1. The applicant must contact all adjacent property owners via first class mailing (see sample letter).
2. The mailing must include all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the subject property. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property.
3. The notice must be mailed at least ten (10) calendar days but not more than twenty-five (25) days prior to the date of the Neighborhood Meeting.

Information provided at the Neighborhood Meeting:

At a minimum, the following materials must be present for inspection at a Neighborhood Meeting:

1. A copy of the project application.
2. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
3. A map, drawing, or other depiction of the proposed land use change or development proposal.

Information provided to Planning Department:

Alert the Planning Department once the date, location, and time of the Neighborhood Meeting are determined. Planning staff may attend the Neighborhood Meeting to answer process/code questions.

Deliver the following items to the Planning Department at least ten (10) calendar days prior to the Planning Board meeting in electronic or hard copy format:

- ☒ Adjacent Property Owner's List (aka "mailing list")
- ☒ Copy of the letter mailed
- ☒ Attendance Roster (aka "sign-in sheet")
- ☒ Neighborhood Meeting Summary Form with minutes (see below)

ADJACENT PROPERTY OWNERS LIST

Project Name: Rezoning/Fence Relocation & Potential Building Expansion

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

PARCEL NUMBER	NAME	ADDRESS
05F02018E	J4 HOLDINGS GROUP, LLC	2840 NC HWY 42 W, CLAYTON, NC 27520
05F02018C	JOHNNY BRIAN SMITH	2850 NC HWY 42 W, CLAYTON, NC 27520
05F02018B	DIANNE SMITH STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05F02039A	CLEE B JOHNSON LIVING TRUST	2740 NC HWY 42 W, CLAYTON, NC 27520
05F02017	BROOKS DENMARK LLC	2104 BREEZE ROAD, RALEIGH, NC 27608-1436
05F02019C	PHILLIP AND DIANNE STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05F02019B	JOHNNY SMITH & DIANNE STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05G03021A	HAYWOOD AND PHYLLIS JOHNSON	257 JOHNSON ESTATE ROAD, CLAYTON, NC 27520
05F02018D	PHILLIP AND DIANNE STARLING	2900 NC HWY 42 W, CLAYTON, NC 27520
05F02019E	PHILLIP AND DIANNE STARLING	2900 NC HWY 42 2, CLAYTON, NC 27520

PERFORMANCE GLASS, INC.
2840 NC HWY 42 WEST | CLAYTON | NC | 27520
919.782.8001 Ext 1

May 24, 2016

Dear Adjacent Clayton Area Property Owner:

The purpose of this letter is to notify you of an application filed with the Town of Clayton for a land use change or development proposal involving property adjacent to, or in close proximity to, property shown in your ownership by Johnston County tax records. Per Town of Clayton regulations, a Neighborhood Meeting will be held to provide information to area residents about the nature of the proposal. A representative of the applicant will be present to explain their application, answer questions, and solicit comments.

Meeting Date: 6/3/16

Meeting Time: 7:30 PM

Meeting Location: 2840 NC Hwy 42 West. Clayton NC. 27520

Type of Application: Rezoning/Fence Relocation & Potential Building Expansion

Project/proposal property address: 2840 NC Hwy 42 West. Clayton NC. 27520

Description of project/proposal: Major Modification to an approved site plan

Relocation of fence & possible future building expansion

At a minimum, the following will be available for your inspection at the Neighborhood Meeting:

1. A copy of the project application.
2. A map at a scale that is appropriate to the project and shows neighboring properties and roads.
3. A map, drawing, or other depiction of the proposed land use change or development proposal.

A map is enclosed with this letter showing the location of the property that is subject to this application for land use change and/or development proposal.

If you have any questions prior to or after this meeting, you may contact us at **919-782-8001 ext 1** and ask to speak with Lisa Johnson . You may also contact the Planning Department at 919-553-5002.

Sincerely,

Lisa W. Johnson
President/Owner

Cc: Town of Clayton Planning Dept.

NEIGHBORHOOD MEETING ATTENDANCE ROSTER

Project: Rezoning/Fence Relocation & Potential Building Expansion

Application: Major Site Plan

Location/Date: 2840 NC HWY 42 West. Clayton NC 27520 6/3/16

	NAME	ADDRESS
1	Benjamin B. Johnson	303 Federal Rd Benson, NC 27504
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

NEIGHBORHOOD MEETING SUMMARY FORM

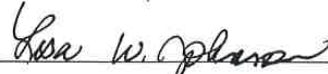
FILL OUT THE FOLLOWING:

Application: J4 Holdings Group LLC

Date of Mailing: 5/24/16

I hereby attest that letters were mailed to the addresses listed on the Adjacent Property Owners List (attached) ten days prior to the Neighborhood Meeting:

Printed Name: Lisa Johnson

Signature: 

Date of Meeting: 6/3/16

Time of Meeting: 7:30 PM

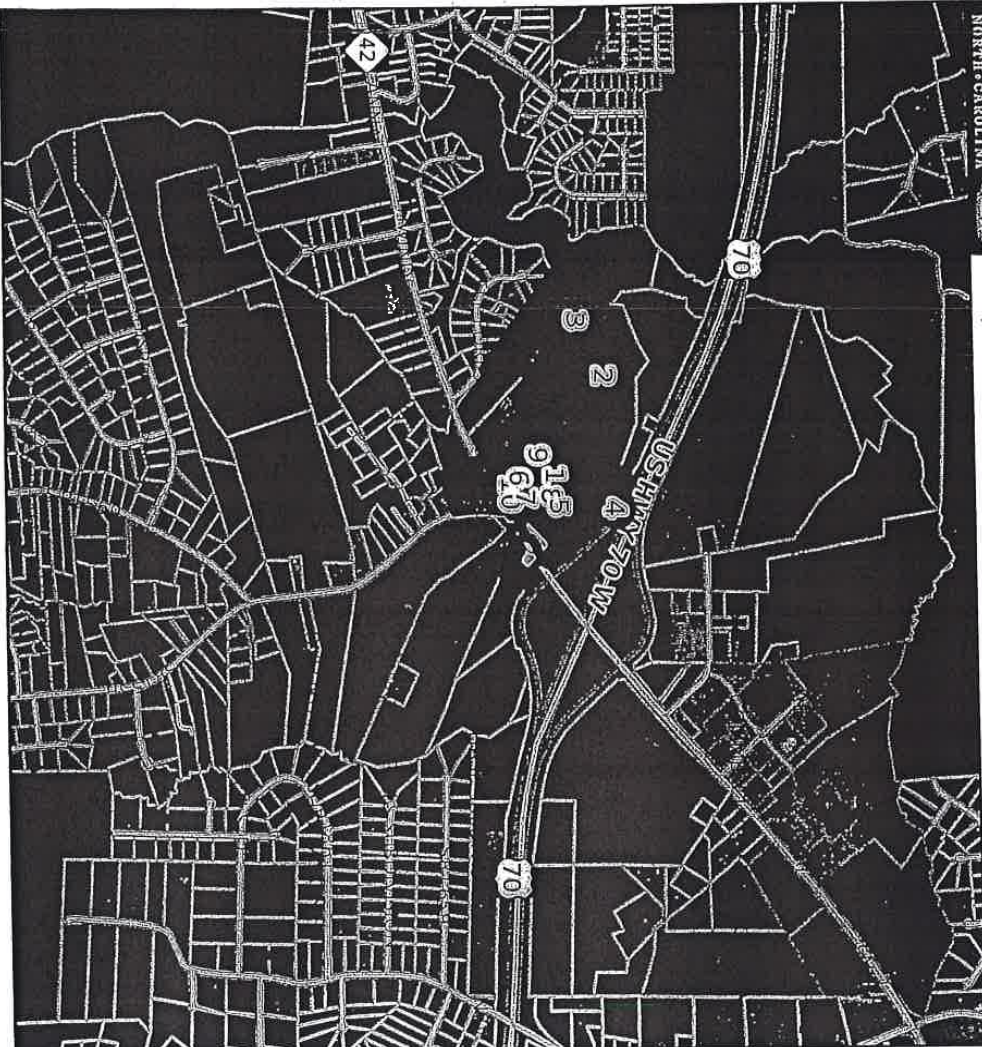
Location of Meeting: 2840 NC Hwy 42 West Clayton NC 27520

Meeting Summary/Minutes: *provide a summary of the discussion held at the meeting, including issues raised and any resolution discussed, and any changes made to the application as a result of the meeting.*

No one showed up for meeting.

Please write clearly (or submit a typed summary). Use additional sheets if necessary.

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id: 05F02018E
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Owner Name 1: J4 HOLDINGS GROUP LLC
Owner Name 2:
Mail Address 1: 303 FEDERAL RD
Mail Address 2:
Mail Address 3: BENSON, NC 27504-8341
Book: 04567
Page: 0129

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Tag: 05F02018C
Tax Unique Id: 4425942
Owner Name 1: SMITH, JOHNNY BRIAN
Owner Name 2:
Mail Address 1: 2850 NC 42 WEST
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520
Book: 03527
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Owner Name 2: STARLING, PHILLIP D
Mail Address 1: 2900 NC HWY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01484
Page: 0563

Result 4

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Tag: 05F02019B
Tax Unique Id: 4316712
Owner Name 1: SMITH, JOHNNY BRIAN
Owner Name 2: STARLING, DIANNE SMITH
Mail Address 1: 2900 NC HIGHWAY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-9229
Book: 01441
Page: 0044

Result 8

id: 05G03021A
Tag: 05G03021A
Tax Unique Id: 4317951
Owner Name 1: JOHNSON, HAYWOOD
ARTHUR
Owner Name 2: JOHNSON, PHYLLIS PEARL
Mail Address 1: 257 JOHNSON ESTATE ROAD
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01374
Page: 0083



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 9

id: 05F02018D
Tag: 05F02018D
Tax Unique Id: 4316702
Owner Name 1: STARLING, DIANNE SMITH
Owner Name 2: STARLING, PHILLIP D
Mail Address 1: 2900 NC HWY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01441
Page: 0046

Result 10

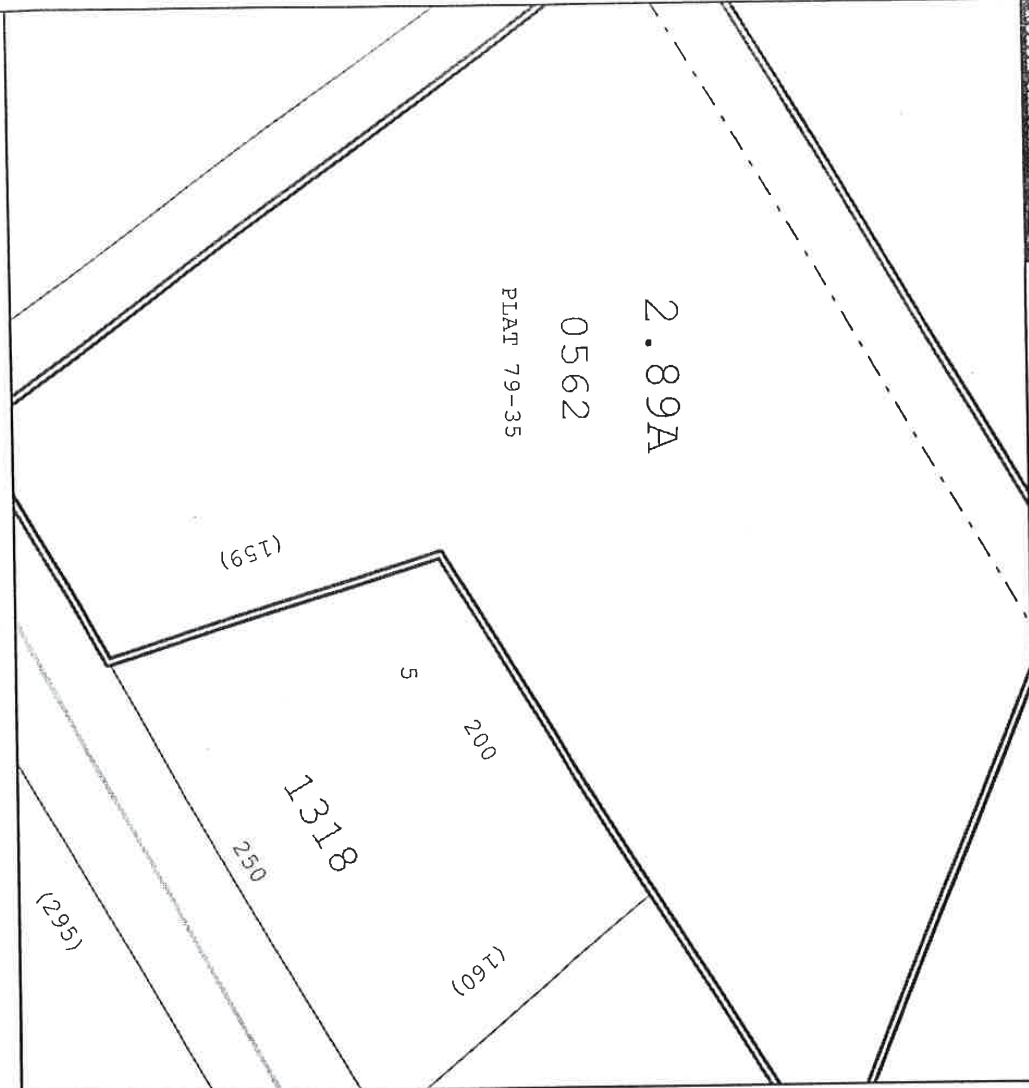
id: 05F02019E
Tag: 05F02019E
Tax Unique Id: 4360011
Owner Name 1: STARLING, DIANNE SMITH
Owner Name 2: STARLING, PHILLIP D
Mail Address 1: 2900 NC HWY 42 W
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-0000
Book: 01484
Page: 0563



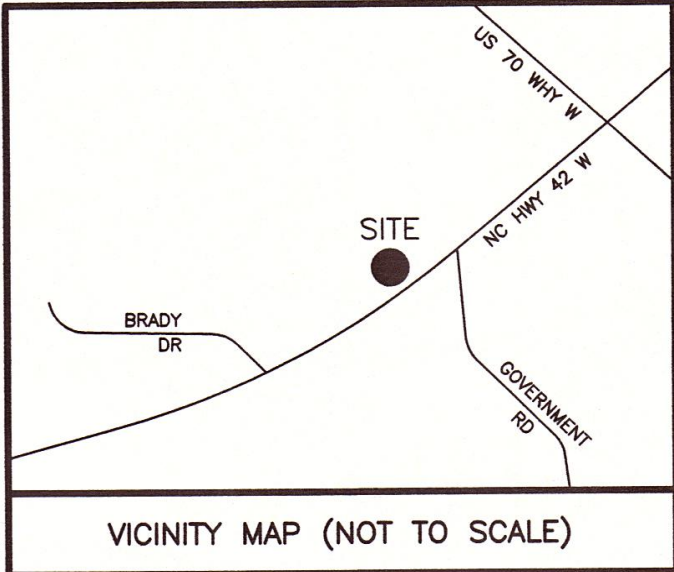
*** DISCLAIMER ***
Johnston County assumes no legal responsibility for the information represented here.

Parcel Report

X Coordinate: 2144119.211427
Y Coordinate: 681683.01233762
id: 05F02018E
Tag: 05F02018E
Tax Unique Id: 4233993
NCPin: 164800-41-0562
Mapsheet No: 1648
Owner Name 1: GOOFOFF LLC
Owner Name 2:
Mail Address 1: 2800 ROWLAND RD
Mail Address 2:
Mail Address 3: RALEIGH, NC 27615-5633
Site Address 1: 2840 NC 42 HWY
Site Address 2: CLAYTON, NC 27520-
Book: 04363
Page: 0342
Market Value: 702950
Assessed Acreage: 2.89
Calc. Acreage: 3.06
Sales Price: 850000
Sale Date: 2013-10-02
Township: Clayton
Water District: Clayton Water District
ETJ: Clayton
City Limits: N/A
Town Zoning: B-3
County Zoning: N/A
Overlay Zoning: N/A



Scale: 1:918 - 1 in. = 76.46 feet
(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)



SITE PLAN

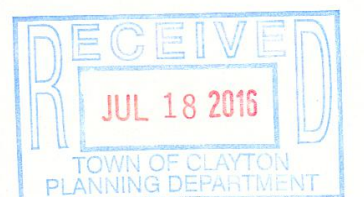
FOR

2840 NC 42 HWY - 4J HOLDINGS GRUP LLC

TOWN OF CLAYTON - JOHNSTON COUNTY, NC

INDEX TO DRAWINGS

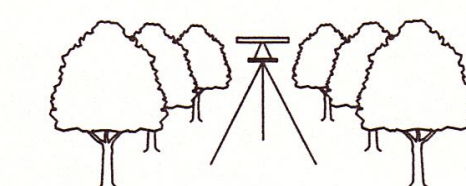
- SHEET 1 - COVER SHEET
- SHEET 2 - SITE PLAN
- SHEET 3 - LANDSCAPE PLAN (LS101)



2016-120-SP

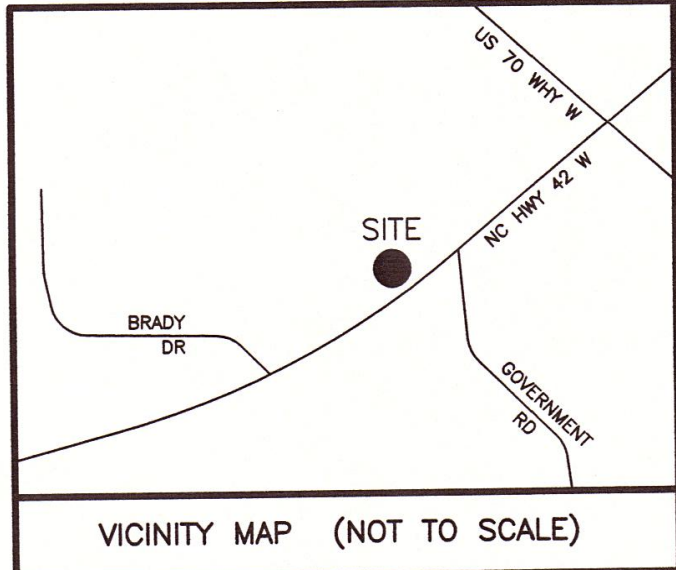
SURVEYED BY:	
DRAWN BY:	
CHECKED BY:	
DRAWING NAME:	
SURVEY DATE:	
JOB NO.	

TRUE LINE SURVEYING, P.C.



205 WEST MAIN STREET
CLAYTON, N.C. 27520
TELEPHONE: (919) 359-0427
FAX: (919) 359-0428
www.truelinesurveying.com

C-1859



NOTES:
1) ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES
2) AREAS COMPUTED BY COORDINATE METHOD
3) PROPERTY SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD
4) NO HORIZONTAL CONTROL FOUND WITHIN 2000 FEET OF SURVEY
5) BOUNDARY PREDICATED ON EXISTING MONUMENTATION FOUND IN THE FIELD

DIMENSIONAL STANDARDS	
MIN. LOT AREA	8,000 SF
MIN. LOT WIDTH	60 FEET
MAX. BUILDING COVERAGE PER LOT	50%
MAX. IMPERVIOUS SURFACE PER LOT	75%
MAX. BUILDING HEIGHT	60 FEET
SETBACKS	
FRONT	25 FEET
SIDE INTERIOR	30 FEET
SIDE STREET	30 FEET
REAR	30 FEET

* THE BUILDING ADDITION SHALL MATCH THE MATERIALS, STYLE, AND USE OF THE EXISTING BUILDING.

* OUTDOOR STORAGE OF THE SITE SHALL COMPLY WITH THE FOLLOWING REQUIRED STANDARDS LISTED IN UDC (155.311(D))

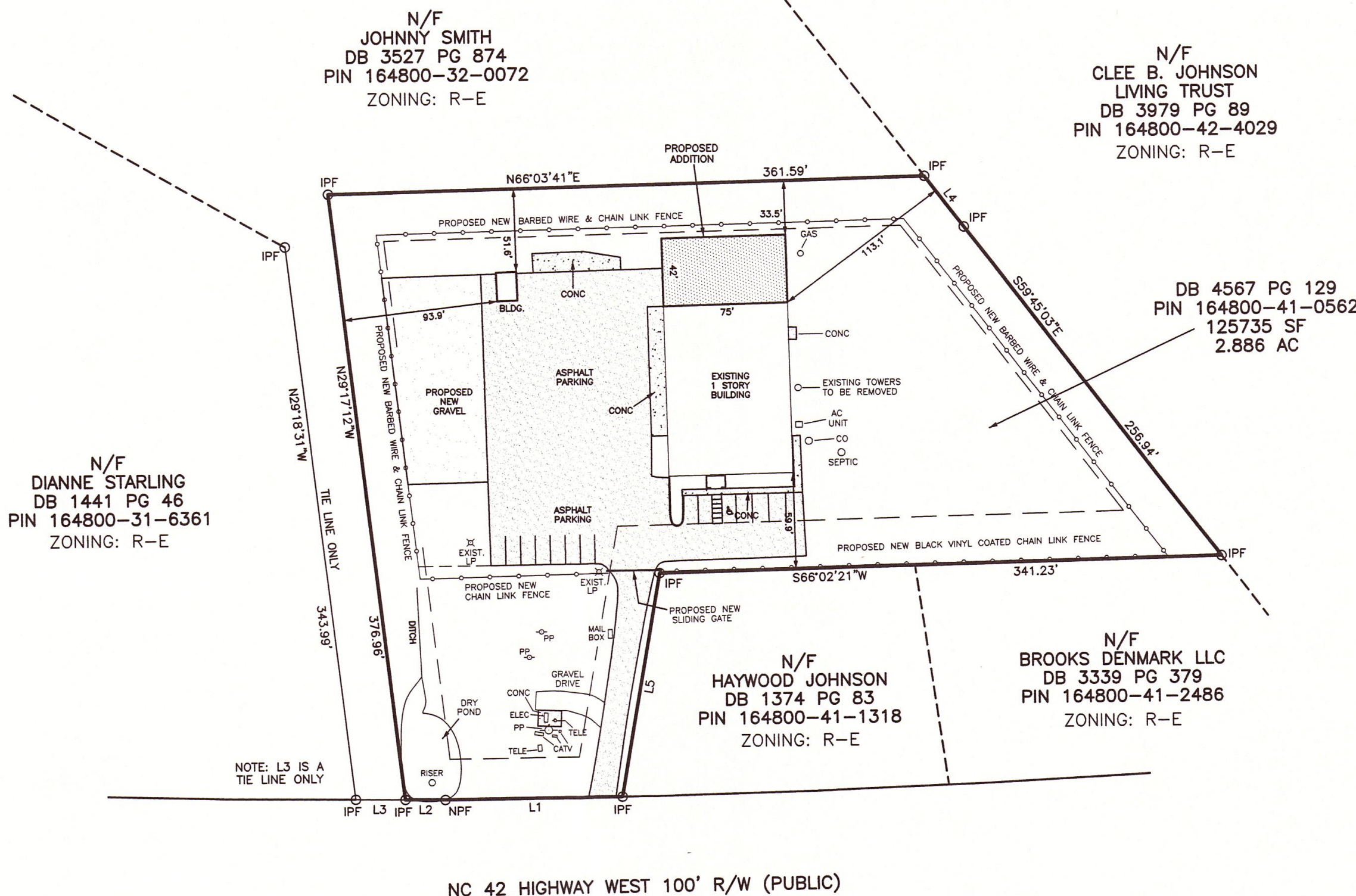
A. LIMITED OUTDOOR STORAGE SHALL NO BE MORE THAN 12 FEET IN HEIGHT AND SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY, PUBLIC PARKING AREAS, OR ADJACENT RESIDENTIAL DEVELOPMENT BY A 100% OPAQUE VISUAL BARRIER OR SCREEN.

B. ALL LIMITED OUTDOOR STORAGE SHALL BE LOCATED AT LEAST 15 FEET FROM THE PUBLIC RIGHT-OF-WAY AND ANY ABUTTING RESIDENTIAL USE OR RESIDENTIALLY-ZONED DISTRICT.

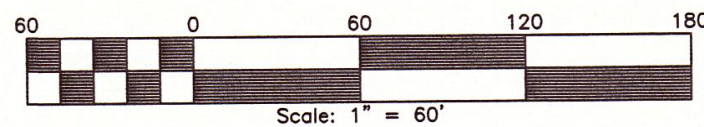
C. LIMITED OUTDOOR STORAGE SHALL NOT BE PERMITTED IN A STREET YARD OR OTHERWISE FORWARD OF THE FRONT BUILDING LINE.

SITE DATA TABLE

PARCEL ID: 05F02018E
PARCEL ADDRESS: 2840 NC HWY 42, CLAYTON, NC 27520
PROPERTY LOCATED OUTSIDE TOWN LIMITS
SITE LOCATED IN SCENIC HIGHWAY OVERLAY DISTRICT
USE: GENERAL MANUFACTURING
PROPOSED ADDITION.....3150 SF
BUILDING COVERAGE.....11367 SF
PERCENT COVERAGE OF SITE: 9.0%
EXISTING PARKING: 13 STANDARD; 1 HANDICAP
PROPOSED PARKING: 13 STANDARD; 1 HANDICAP
REQUIRED PARKING: 11 STANDARD; 1 HANDICAP
EXISTING ZONING R-E & B-3
PROPOSED ZONING B-3
IMPERVIOUS SURFACE.....38074 SF
PERCENT OF IMPERVIOUS SURFACE OF SITE: 30.0%
PROPERTY SIZE: 125735
EXISTING USE - COMMERCIAL
PROPOSED USE - COMMERCIAL
EXISTING BUILDING HEIGHT - 24'
PROPOSED ADDITIONAL BUILDING HEIGHT
REFUSE COLLECTION TYPE: INDIVIDUAL
PROPOSED NEW GRAVEL: 6962 SF



NUMBER	DIRECTION	DISTANCE
L1	S66°33'41"W	107.52'
L2	S68°04'05"W	24.33'
L3	S68°01'58"W	30.29'
L4	S59°45'03"E	39.43'
L5	S12°52'46"E	139.85'



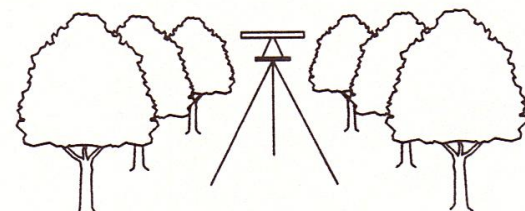
2840 NC HIGHWAY, CLAYTON, NC 27520

SITE PLAN
OF
2840 NC 42 HWY
FOR
4J HOLDINGS GROUP LLC
CLAYTON TOWNSHIP, JOHNSTON COUNTY
NORTH CAROLINA
JULY 18, 2016

LEGEND	
IPF	IRON PIPE FOUND
IP	IRON PIPE SET
CMF	CONCRETE MONUMENT FOUND
PNMF	PAPER-NAIL FOUND
PNFS	PAPER-NAIL SET
RPS	RAILROAD SPIKE
CSF	COTTON SPIKE FOUND
CSS	COTTON SPIKE SET
CC	CONTROL CORNER
CP	COMPUTED POINT
P/P	POWER POLE
OPW	OVERHEAD POWER LINE
R/W	RIGHT OF WAY
S/T	SQUARE FEET
AC	ACRE
DB	DEED BOOK
PL	PLAT BOOK
BM	BOOK OF MAPS
PS	PLAT
LF	LINEAR FEET
LSL	LOT HAS OPPOSITE SEWER
LSL	OPPOSITE SEWER LOT
LSL	RECOMMENDATION LOT
138	STREET ADDRESS
---	LINE NOT SURVEYED

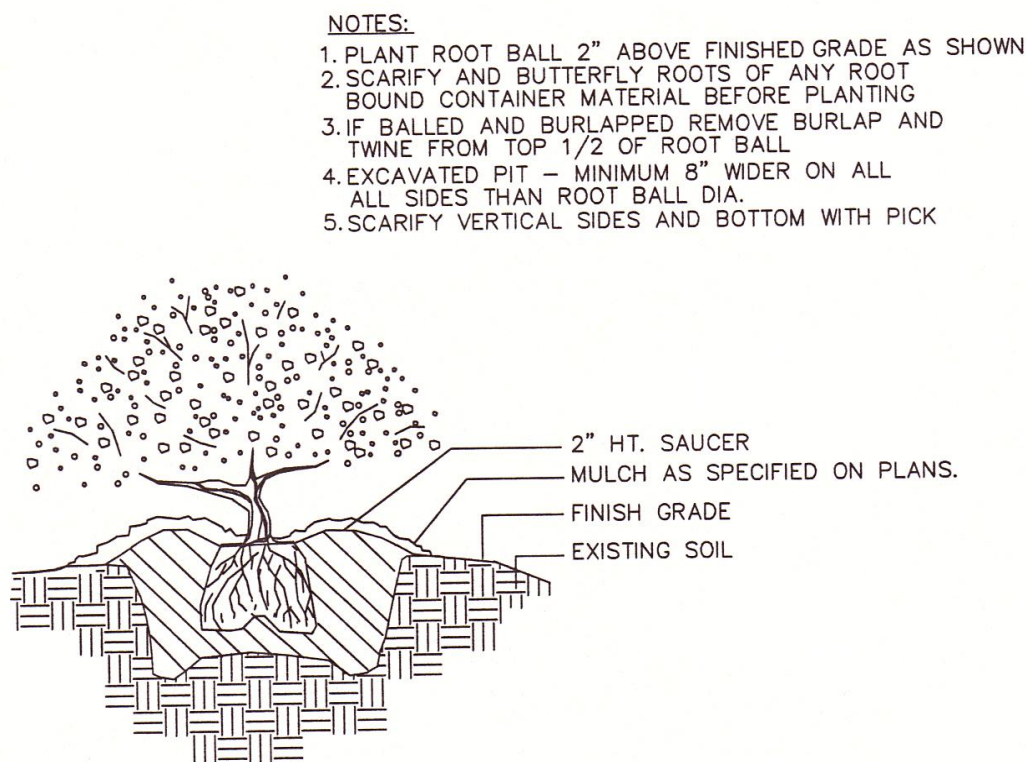
SURVEYED BY:	WESS
DRAWN BY:	DANNY
CHECKED BY:	C. LANE - PLS
DRAWING NAME:	SITEPLAN.DWG
SURVEY DATE:	3/7/16
JOB NO.	2687.001

TRUE LINE SURVEYING, P.C.

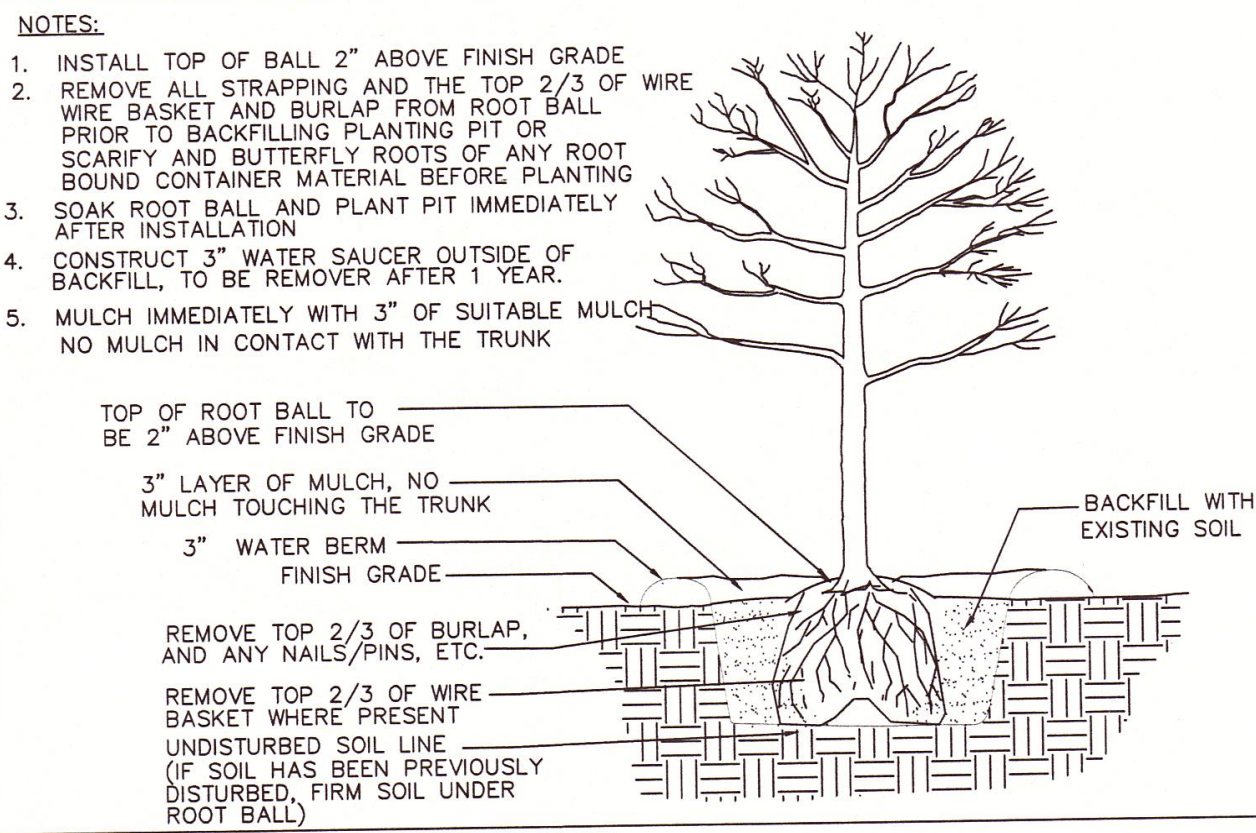


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C-1859



PLANTING DETAIL-SHRUB



PLANTING DETAIL-TREE

LANDSCAPE MAINTENANCE NOTE
ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

LANDSCAPE NOTES:

1. COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLANS.
2. VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
3. ALL AREAS NOT MULCHED SHALL BE SEEDED WITH 'REBEL III' HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE ON THIS SHEET
4. PREPARE TURF AREA BY LOOSENING SUBGRADE 6-8" DEEP. ADD SOIL AMENDMENTS AS PRESCRIBED IN THE SEEDING SCHEDULE ON THIS SHEET AND MIX THOROUGHLY INTO UPPER 6" OF SOIL, FINE GRADE, SEED AND STRAW.
5. INSTALL ALL LANDSCAPE MATERIAL UPON COMPLETION OF GRADING ACTIVITIES.
6. MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH MULCH TO A DEPTH OF 3".
7. THE SELECTION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE TOWN OF CLAYTON STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT USTS.
9. SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL, PRIOR TO INSTALLATION.
10. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES. CONTACT ULCOO AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

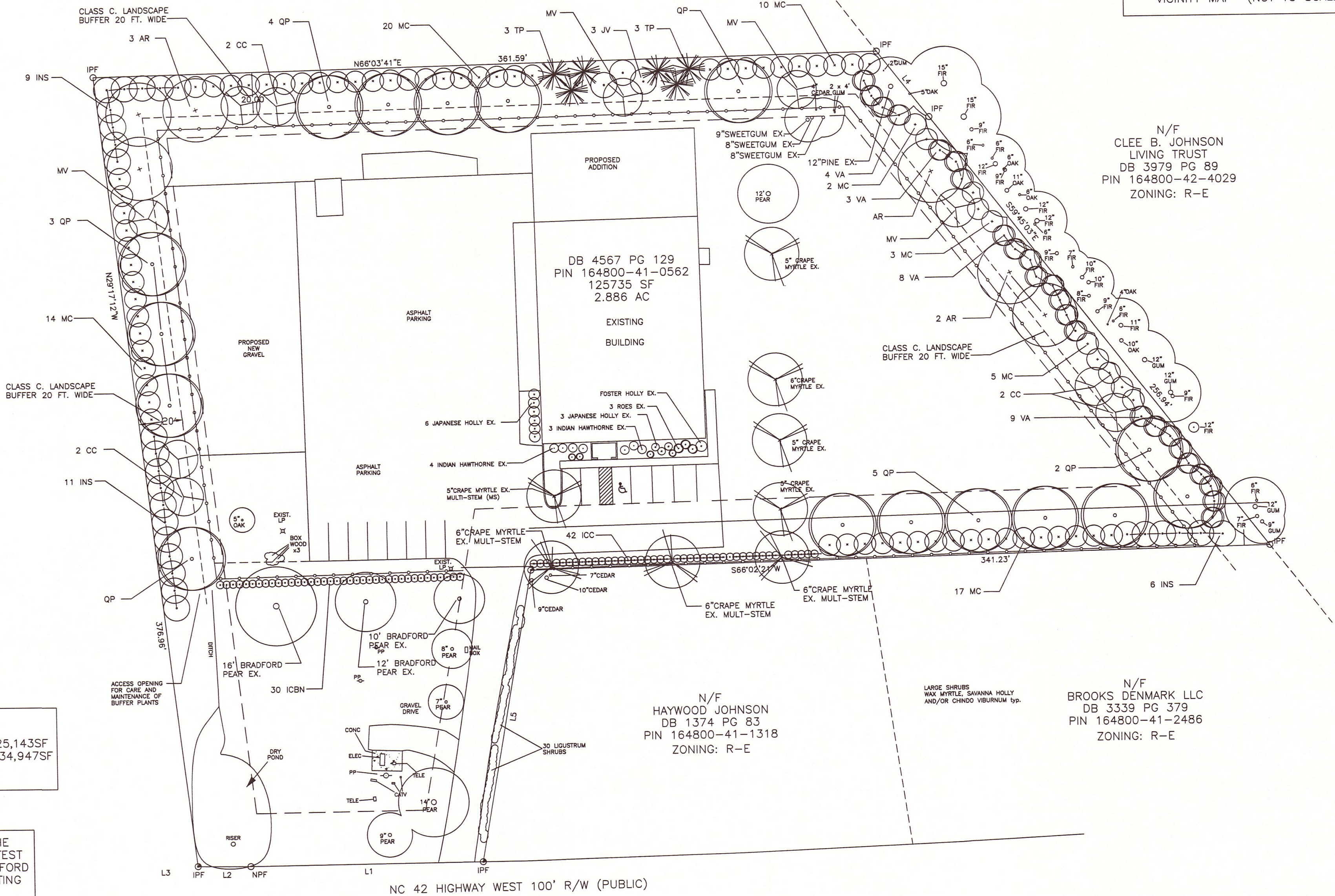
PERMANENT LAWN SEEDING SCHEDULE

AGRICULTURAL LESTONE: @ 100lbs/1000SF
FERTILIZER: 10-20-20 ANALYSIS @ 150lbs/1000SF
SUPERPHOSPHATE: 0-20-0 ANALYSIS @ 100lbs/1000SF
SEED: IMPROVED TALL FESCUE 7-8 lbs/1000SF
'REBEL III' HYBRID TALL FESCUE OR EQUIVALENT
MULCH: SMALL GRAIN STRAW 2 BALES/1000SF
ANCHOR: TACK WITH LIQUID ASPHALT @ 400gal./ACRE OR EMULSIFIED ASPHALT @ 300gal./ACRE

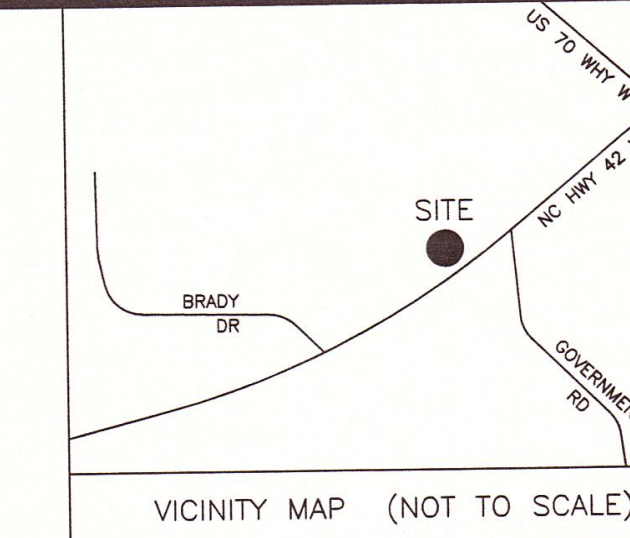
EXISTING VEGETATION IS INCORPORATED INTO THE LANDSCAPE DESIGN OF THE SITE TO THE GREATEST EXTENT POSSIBLE. EXAMPLE: 3 EXISTING BRADFORD PEARS, 3 EXISTING CRAPE MYRTLE AND 3 EXISTING SWEETGUM TREES

SITE INTERIOR LANDSCAPE REQUIREMENTS
TOTAL SITE AREA 2.886AC = 128714.16SF
INTERIOR LANDSCAPE AREA REQUIRED 20% = 25,143SF
TOTAL INTERIOR LANDSCAPE AREA PROVIDED 34,947SF
TREES PROVIDED 52 TREES
SHRUBS PROVIDED 247 SHRUBS

N/F
JOHNNY SMITH
DB 3527 PG 874
PIN 164800-32-0072
ZONING: R-E



PLANT LIST				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING
AR	6	ACER RUBRUM	RED MAPLE	6'-8"HT., MIN. 7 GAL.
QP	16	QUERCUS PHELLOS	WILLOW OAK	6'-8"HT., MIN. 7 GAL.
CC	6	CERCIS CANADENSIS	REDBUD	5'-6"HT., MIN. 7 GAL.
MV	4	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	5'-6"HT., MIN. 7 GAL.
JV	3	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	24" MIN. HT. 3 GAL.
ICC	42	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	12-15" MIN. HT. 3 GAL.
ICDB	30	ILEX CORNUTA 'BURFORD NANA'	DWARF BURFORD HOLLY	15-18" MIN. HT. 3 GAL.
INS	28	ILEX 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	18-24" MIN. HT. 3 GAL.
MC	71	MYRTICA CERIFERA	WAX MYRTLE	18-24" MIN. HT. 3 GAL.
TP	6	THUJA PLICATA 'GREEN GIANT'	GREEN GAIANT ARBORVITAE	18-24" MIN. HT. 3 GAL.
VA	24	VIBURNUM AWABUKI 'CHINDO'	CHINDO VIBURNUM	18-24" MIN. HT. 3 GAL.



N/F
CLEE B. JOHNSON
LIVING TRUST
DB 3979 PG 89
PIN 164800-42-4029
ZONING: R-E

N/F
BROOKS DENMARK LLC
DB 3339 PG 379
PIN 164800-41-2486
ZONING: R-E

REVISION	
Date	Description

Designed By
WEW

Sheet Title
LANDSCAPE PLAN

Sheet Number
LS 101

LANDSCAPE PLAN
PERFORMANCE GLASS
2840 NC HWY 42 WEST
CLAYTON, NC

wwarner.com

WILLIAM E. WARNER ASLA, LLC
LANDSCAPE ARCHITECT
RALEIGH & WEST JEFFERSON, N C
PO BOX 10724 RALEIGH, NC 27605
919.782.6848
william@wwarner.com

SHEET
LS101