



Town of Clayton
Technical Review Committee Meeting - FINAL Agenda
Wednesday, July 18, 2018 @ 9:00 AM
GS 223 - Clayton Town Hall

1. NEW SUBMITTALS SCHEDULED FOR REVIEW

- a. 9:00am - 9:30am
Ashcroft Major Subdivision Modification
2018-120-SD
Major Subdivision (modification)

[Application 2018-120-SD Ashcroft Ph. 6 & 7](#)
[Owner's Consent 2018-120-SD Ashcroft Ph. 6 & 7 Modification](#)
[Road Name Approval 2018-120-Ashcroft Ph 6 & 7 Modification](#)
[Adjacent Property Owner List 2018-120-SD Ashcroft Ph. 6 & 7](#)
[Site Plan 2018-120-SD Ashcroft Ph 6 & 7 Modification](#)
- b. 9:30pm - 10:00am
The Village at Parkview Phases 9-16
2018-122-SD
Major Subdivision
[Application 2018-122-SD The Village at Parkview Ph 9-16](#)
[Owners Consent form 2018-122-SD The Village at Parkview Ph 9-16](#)
[Plan Requirements Checklist 2018-122-SD The Village at Parkview Ph 9-16](#)
[Roadname Application 2018-122-SD The Village at Parkview Ph. 9-16](#)
[Adjacent Property Owner List 2018-122-SD The Village at Parkview Ph 9-16](#)
[Site Plan 2018-122-SD The Village at Parkview 9-16](#)
[Stormwater Statement 2018-122-SD The Village at Parkview Ph 9-16](#)
[Wastewater Allocation Request 2018-122-SD The Village at Parkview Ph 9-16](#)
- c. 10:00am - 10:30am
Warrick Park
2018-125-SD
Subdivision Modification
[Application 2018-125-SD Warrick Park](#)
[Owner's Consent 2018-125-SD Warrick Park](#)
[Plan Requirements 2018-125-SD Warrick Park](#)
[Sidewalk and fee in lieu Waiver 2018-125-SD Warrick Park](#)
[Adjacent Property Owner List 2018-125-SD Warrick Park](#)
[Site Plan 2018-125-SD Warrick Park Major Modification](#)

2. CURRENT MEMBERS OF TECHNICAL REVIEW COMMITTEE

- a. Tony Atkinson, Fire Marshal
Samantha Wullenwaber, Planning Director
Larry Bailey, Parks & Recreation Director

Steve Blasko, Street and Property Superintendent
Amy Calo, Energy Services Technician
Rich Cappola, Engineering Director
David DeYoung, Economic Development Director
Beth Franson, Planning Specialist
Samuel Lawhorn, NCDOT
Deborah Bridges, Johnston County Schools
Captain Herring, Police Captain
Haley Hogg, Planner
Dale Medlin, Electric Systems Director
Blair Myhand, Police Chief
Paralee Smith, Development Services Coordinator
Chris Rowland, Construction Project Administrator
Becky Shires, USPS Postmaster
Andrew Simerman, Construction Project Administrator
Tim Simpson, Public Works Director
Jessica Batten, Development Engineer/Stormwater Manager



TOWN OF CLAYTON
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application Fees: **Major Preliminary Subdivision Plat Fee: \$400.00 + \$5.00 per lot**
Advertisement Fee: \$100.00
Modifications to Approved Plans Fee:
 Major Modification: \$400.00 + \$5.00 per lot modified
 Minor Modification: \$200.00 + \$5.00 per lot modified

*See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.706(I) for Preliminary Plat approval (major subdivision) process/approval information.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.*

SITE INFORMATION

New Major Subdivision
 Conventional: _____ Open Space: _____

Modification to Approved Preliminary Plat
 Major: x _____ Minor: _____

New Subdivision Master Plan

Name of Project: Ashcroft Phases 6 & 7 Acreage of Property: 18.55 ACS

Tag #: 05H02200B / 0502015A NC PIN: 166900-76-7638 / 166900-75-4535

Location: Off Atwood Drive in Ashcroft Subdivision

Number of Lots (existing): 139 (Proposed) 56 Min Lot Size: 6.00 SF

Zoning District: PD-R Electric Provider: Town of Clayton

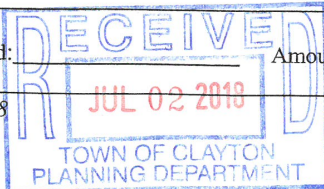
Wastewater: Septic Sewer (check one) Water: Well Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: 5.43 ACS

FOR OFFICE USE ONLY

Date Received: _____ Amount Paid: \$ 800 File Number: 2018-120-5D

June 2018



PROPERTY OWNER INFORMATION

Name: Ashcroft Partners, LLC
 Mailing Address: 114 W. Main St, Clayton, NC 27520
 Phone Number: 919-422-6815 Fax: N/A
 Email Address: reid@one27homes.com

APPLICANT INFORMATION

Applicant: Adams & Hodge Engineering, PC
 Mailing Address: 314 E. Main St, Clayton, NC
 Phone Number: 919-763-7278 Fax: N/A
 Contact Person: Donnie Adams
 Email Address: donnie@adamsandhodge.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

| To be completed by the applicant: | | | To be completed by staff: | | |
|--|-----|-----|---------------------------|----|-----|
| <i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i> | Yes | N/A | Yes | No | N/A |
| 1. A pre-application meeting was held with Town Staff. Date: <u>05/16/18</u> | ✓ | | | | |
| 2. Completed Application | ✓ | | | | |
| 3. Review Fee and Advertisement Fee | ✓ | | | | |
| 4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i> | ✓ | | | | |
| 5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i> | ✓ | | | | |
| 6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i> | ✓ | | | | |
| 7. Plat sheet(s) meeting requirements of the Requirements Checklist | ✓ | | | | |
| 8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(I)(7). | | ✓ | | | |
| 9. Adjacent Property Owners List | ✓ | | | | |
| 10. Road Name Application <i>Included in this packet</i> | ✓ | | | | |
| 11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i> | ✓ | | | | |

FINDINGS OF FACT

Section 155.706(1)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

The subdivision meets all applicable regulations and conforms to the UDO.

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

The subdivision design is such that it will be beneficial to orderly development on adjacent tracts.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

The subdivision is designed to provide proper traffic flow within the neighborhood and provides a continuation of the existing street system as well as two stub roads for possible future development.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

This subdivision is consistent with the orderly growth and development pattern of the town.

Project Name: Ashcroft Phases 6 & 7

Adams & Hodge Engineering
Print Name


Signature of Applicant

6/29/2018
Date

June 2018

Page 4 of 13



TOWN OF CLAYTON
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Ashcroft Address or PIN #: 05H02200B, 05H02015A

AGENT/APPLICANT INFORMATION:

Adams & Hodge Engineering, PC 314 E. Main St.
 (Name - type, print clearly) (Address)
Clayton NC 27520
 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Gattis Lee Heirs PO Box 1262
 (Name - type, print clearly) (Address)
[Signature] Clayton, NC 27528
 (Owner's Signature) (City, State, Zip)

STATE OF North Carolina
 COUNTY OF Johnston

Sworn and subscribed before me MIA M. Richard, a Notary Public for the above State and County, this the 25 day of May, 2018.

SEAL

[Signature]
 Notary Public

My Commission Expires: 6-27-2021



111 E. Second Street, Clayton, NC 27520
P.O. Box 879, Clayton, NC 27528
Phone: 919-553-5002
Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Ashcroft Address or PIN #: 166900-75-4535

AGENT/APPLICANT INFORMATION:

Adams & Hodge Engineering, PC
(Name - type, print clearly)

314 East Main Street
(Address)
Clayton, NC 27520
(City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

Administrative Amendment Construction Plans
Preliminary Subdivision Final Plats

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Reid Smith for Ashcroft Partners, LLC
(Name - type, print clearly)

114 W. Main St.
(Address)

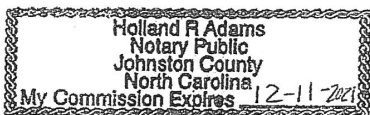
[Signature]
(Owner's Signature)

Clayton, NC 27520
(City, State, Zip)

STATE OF North Carolina
COUNTY OF Johnston

Sworn and subscribed before me Holland R Adams, a Notary Public for the above State and County, this the 1st day of March, 2018.

SEAL



November 2014

Holland R Adams
Notary Public

My Commission Expires: 12-11-2021

Page 5 of 12



TOWN OF CLAYTON

Planning Department

111 E. Second Street, Clayton, NC 27520

P.O. Box 879, Clayton, NC 27528

Phone: 919-553-5002

Fax: 919-553-1720

ROAD NAME APPROVAL APPLICATION

Road name applications are for public street signs (blades) that are located within the Town limits. Once the public street names have been approved, the applicant must submit a written request to the Town of Clayton Public Works Department identifying the approved blades and their installation location(s). The Public Works Department will order and install the blades along with any required regulatory signage. The applicant will be invoiced for the total cost of the blades, one-half the cost of sign posts and one man hour of labor per sign post.

SITE INFORMATION

Name of Project: The Village at Parkview Ph 9-16 Acreage of Property: 3.85 ACS
Tax ID #: 05H02199C & 05H02198 NC PIN: 166909-06-1495 & 166909-06-1265
Deed Book: 5130 / 3003 Deed Page(s): 112 / 637
Location: 352 City Road. Clayton, NC 27520
Nearest Intersecting Roads: City Road
Township: Clayton

PROPERTY OWNER INFORMATION

Name: Sam's Branch Development
Mailing Address: 114 W. Main Street, Clayton, NC 27520
Phone Number: 919-422-6815 Fax: N/A
Email Address: reid@one27homes.com

APPLICANT INFORMATION

Applicant: Adams & Hodge Engineering, PC
Mailing Address: 314 E. Main Street, Clayton, NC 27520
Phone Number: 919-783-7278 Fax: N/A
Contact Person: Donnie Adams
Email Address: _____

| FOR OFFICE USE ONLY | | |
|----------------------|--------------------|--------------------|
| Date Received: _____ | Amount Paid: _____ | File Number: _____ |

ROAD NAME GUIDELINES SUPPLEMENTAL INFORMATION

The following guidelines must be followed. Please note that the Town of Clayton reserves the right to not approve any street name that is deemed inappropriate or fails to meet the guidelines.

- No street names duplicate or sound similar to existing road names.
- None of the streets are names after individuals.
- Street names have been limited to 14 characters or less.
- No compass directions are included in the street names (north, south, east, west).
- Punctuation marks are not used in the street names (e.g. periods, hyphens, apostrophes, etc.).
- Double suffixes have been avoided (e.g. Deer Path Lane).
- All names have acceptable suffixes (e.g. Street, Drive, Court, Lane, etc.). *Please see the Town of Clayton's approved list of suffixes (attached).*
- Names that are difficult to pronounce have been avoided.

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

Please submit twice as many road names as needed with highest priority names listed first, written exactly as they should appear on the sign. The Town of Clayton Planning Department will coordinate with the Johnston County Planning Department for joint approval of street names. The Town of Clayton Planning Department will provide the applicant the final approval of street names. Approved street names are reserved for one year.

| Road Name | Suffix |
|--------------------|-------------|
| <i>Ex.: Willow</i> | <i>Lane</i> |
| 1. Legend Park | Drive |
| 2. Schenley | Drive |
| 3. Encanto | Drive |
| 4. Patterson | Place |
| 5. Prospect | Lane |
| 6. | |
| 7. | |
| 8. | |
| 9. | |
| 10. | |

| Road Name | Suffix |
|-----------|--------|
| 11. | |
| 12. | |
| 13. | |
| 14. | |
| 15. | |
| 16. | |
| 17. | |
| 18. | |
| 19. | |
| 20. | |
| 21. | |

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town of Clayton Planning Department for street names. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Adams H. Hodge
Print Name

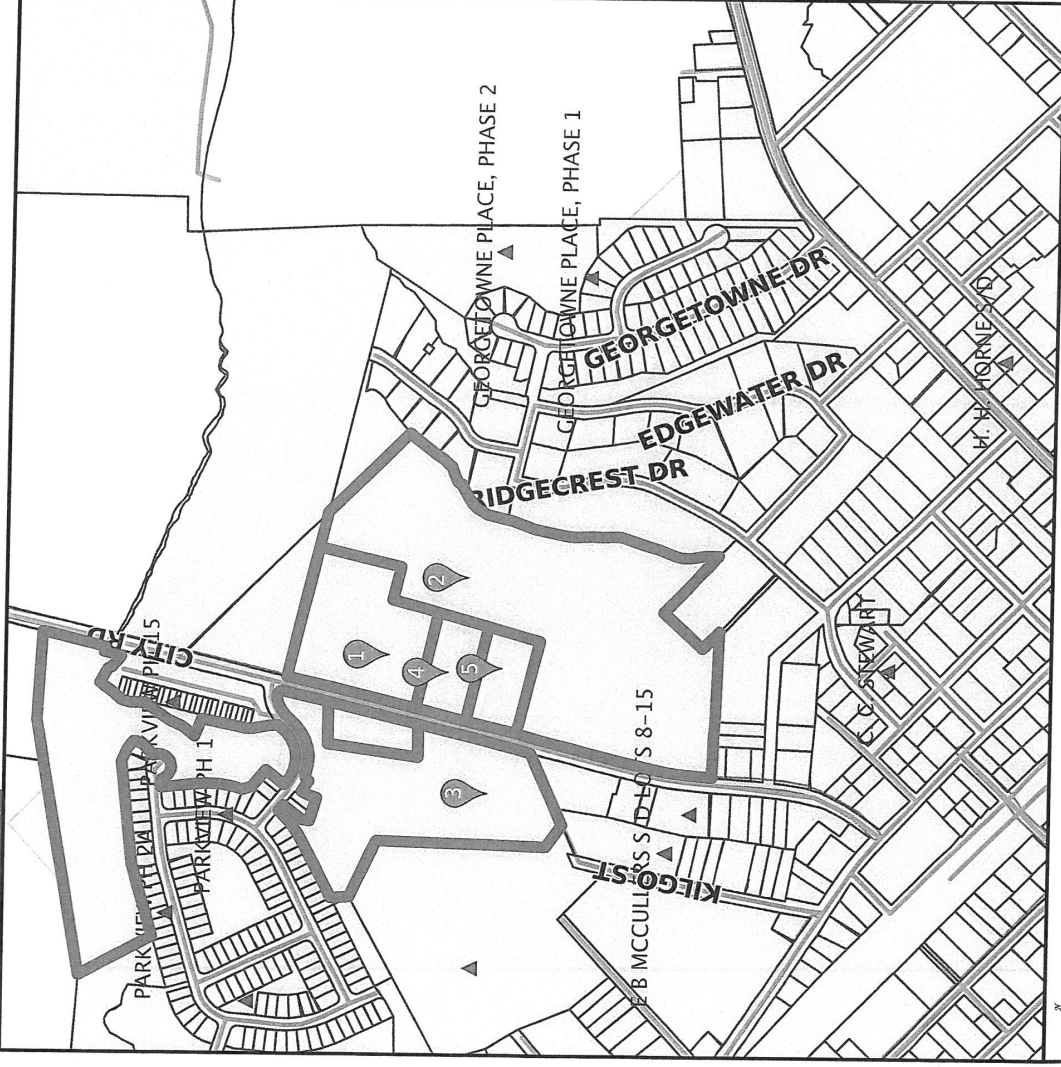
[Signature]
Signature of Applicant

6/29/2018
Date



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 05H02020
 Tag: 05H02020
 NCPin: 166909-06-4838
 Mapsheet No: 166909
 Owner Name 1: SAM'S BRANCH, LLC
 Owner Name 2:
 Mail Address 1: 114 W MAIN ST STE 102
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-2397
 Site Address 1:
 Site Address 2:
 Book: 05111
 Page: 0199
 Market Value: 66680
 Assessed Acreage: 7
 Calc. Acreage: 6.98
 Sales Price: 3000
 Sale Date: 2018-03-06



Scale: 1:7876 - 1 in. = 656.32 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Johnston County GIS
May 31, 2018



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 2

id: 05029021
Tag: 05029021
NCPin: 166909-06-6358
Mapsheet No: 166909
Owner Name 1: GORDON, HARVEY B
Owner Name 2: GORDON, MILDRED S
Mail Address 1: 133 PLANTATION CIR S
Mail Address 2:
Mail Address 3: PONTE VEDRA BEACH, FL
32082-0000
Site Address 1:
Site Address 2:
Book:
Page:
Market Value: 119210
Assessed Acreage: 22.43
Calc. Acreage: 22.429
Sales Price: 0
Sale Date:

Result 3

id: 05030069
Tag: 05030069
NCPin: 165908-97-7935
Mapsheet No: 165908
Owner Name 1: CITY ROAD LLC
Owner Name 2:
Mail Address 1: 114 W MAIN ST STE 102
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-2321
Site Address 1:
Site Address 2:
Book: 04557
Page: 0814
Market Value: 112350
Assessed Acreage: 22.35
Calc. Acreage: 22.4
Sales Price: 425000
Sale Date: 2015-02-13

Result 4

id: 05H02199C
Tag: 05H02199C
NCPin: 166909-06-1495
Mapsheet No: 166909
Owner Name 1: SAM'S BRANCH, LLC
Owner Name 2:
Mail Address 1: 114 W MAIN ST STE 102
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-2397
Site Address 1: 352 CITY RD
Site Address 2: CLAYTON, NC 27520-
Book: 05130
Page: 0112
Market Value: 94030
Assessed Acreage: 1.85
Calc. Acreage: 1.848
Sales Price: 152500
Sale Date: 2018-04-10

Result 5

id: 05H02198
Tag: 05H02198
NCPin: 166909-06-1265
Mapsheet No: 166909
Owner Name 1: DELILA R B THOMPSON
LIVING TRUST
Owner Name 2:
Mail Address 1: 8013 OLD STAGE ROAD
Mail Address 2:
Mail Address 3: RALEIGH, NC 27603-0000
Site Address 1: 300 CITY RD
Site Address 2: CLAYTON, NC 27520-
Book: 03003
Page: 0637
Market Value: 90710
Assessed Acreage: 1.99
Calc. Acreage: 1.855
Sales Price: 0
Sale Date: 2005-10-26

MAJOR SUBDIVISION PLAN

ASHCROFT PHASES 6 & 7

IN

TOWN OF CLAYTON, NC



SITE VICINITY MAP
NOT TO SCALE

DEVELOPER/APPLICANT:

ASHCROFT PARTNERS, LLC
114 W. MAIN STREET
CLAYTON, NC 27520

CONTACT/AGENT: DONNIE C. ADAMS
919 763-7278

SHEET INDEX

| SHEET TITLE | SHEET No. |
|---|-----------|
| SEALED BOUNDARY MAP..... | BM1 |
| EXISTING CONDITIONS..... | SP1 |
| PRELIMINARY SITE PLAN..... | SP2 |
| PHASES 6 & 7 PHASING PLAN W/ OVERALL MASTER PLAN..... | SP3 |
| PRELIMINARY UTILITY PLAN..... | SP4 |
| FIRE RESCUE & FUTURE ACCESS PLAN..... | SP5 |
| PRELIMINARY GRADING AND EROSION CONTROL PLAN..... | SP6 |
| PRELIMINARY LANDSCAPE PLAN..... | SP7 |
| CBU LAYOUTS..... | SP8 |

PRELIMINARY



REVISED
2:53 pm, Jun 29, 2018

ADAMS & HODGE
ENGINEERING, PC

314 East Main Street
Clayton, NC 27520
919-243-1332 donnie@adamsandhodge.com
FIRM # C-4197

ASHCROFT PHASES 6 & 7
TOWN OF CLAYTON, NC

JULY 2, 2018



| LINE | BEARING | DISTANCE | REFERENCES: |
|------|---------------|----------|-------------|
| 1 | S 44°03'13" E | 162.23' | PB 70/403 |
| 2 | S 39°43'20" E | 176.44' | PB 70/391 |
| 3 | S 8°42'09" E | 164.41' | PB 76/238 |
| 4 | S 16°27'43" E | 192.23' | PB 79/483 |
| 5 | S 29°18'52" W | 151.00' | PB 82/140 |
| 6 | S 82°16'13" E | 17.76' | DB 4381/338 |
| 7 | S 89°47'00" E | 150.54' | |

VICINITY MAP (NTS)

MINIMUM SETBACKS:
 FRONT: 35'
 SIDE: 15'
 REAR: 30'
 STREET: 25'
 MAXIMUM HEIGHT: 35'

Note 'A'
 This property is located in Zone 'X' (minimal flood risk) and is not within a Special Flood Hazard Area. FIRM # 3720166900K. Effective Date: 06/20/2018

Note 'B'
 This property is currently Zoned 'R-E'

Note 'C'
 All distances are horizontal ground unless otherwise stated

Note 'D'
 All areas computed by coordinate method

Note 'E'
 The parcel(s) shown hereon are subject to any and all easements, rights of way and restrictions of record

Note 'F'
 No grid monuments recovered within 2000' of property

Note 'G'
 Underground utilities were not considered on this survey

I, Michael Stokes, certify that this map was drawn under my supervision from an actual GPS (or GNSS) survey made under my supervision and the following information was used to perform the survey:

Class of Survey: A
 Positional Accuracy: 0.10'
 Type of GPS (or GNSS) field procedure: RTN (360 epoch observations)
 Date(s) of Survey: 06/11/2018
 Datum Epoch: NAD83/NSRS2011
 Published fixed Control: RTN NETWORK
 Geoid Model: GEOID12B
 Units: US Survey Feet
 Combined Factor: .999892826
 Horizontal positions are referenced to NAD83/NSRS(2011)
 Vertical positions are referenced to NAVD88 using (GEOID12A)

I, Michael S. Stokes, Professional Land Surveyor certify that this survey complies with the North Carolina Standards of Practice for Surveying Section 1600; that this is a class A survey, meeting the criteria of precision greater than 1:20,000; that RTN field procedure with GNSS receiver utilizing correction factors broadcast by NCGS from base station was utilized; that all units are U.S. Survey Feet unless otherwise stated; that all distances are ground distances unless otherwise stated. Any Easements, gaps, lappages, or encroachments are shown on this survey; that all areas were computed by coordinate method. This survey is not to be recorded without written permission from the surveyor. This map remains the property of the surveyor and is to be used only for conveyance of this lot by the person(s) shown on this map.

Witness my original signature, registration number and seal this 6th day of June, A.D. 2018.
 Surveyor: Michael S Stokes
 License # L-4996



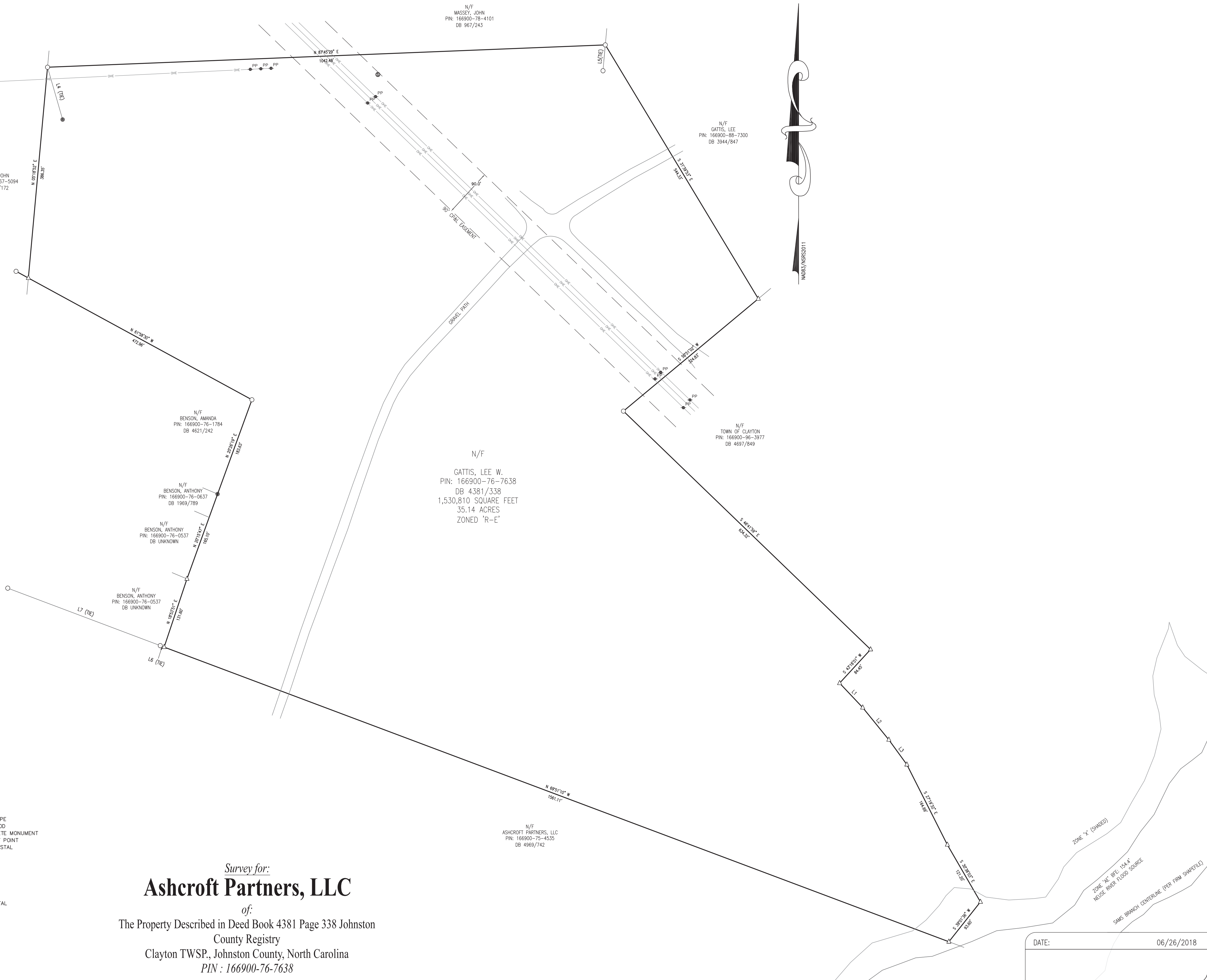
STOKES
 SURVEYING & MAPPING, PLLC
 Firm License # P-1139
 1425-105 B Rock Quarry Rd.
 Raleigh, NC 27610
 (919)-971-7897
 www.stokes-surveying.com



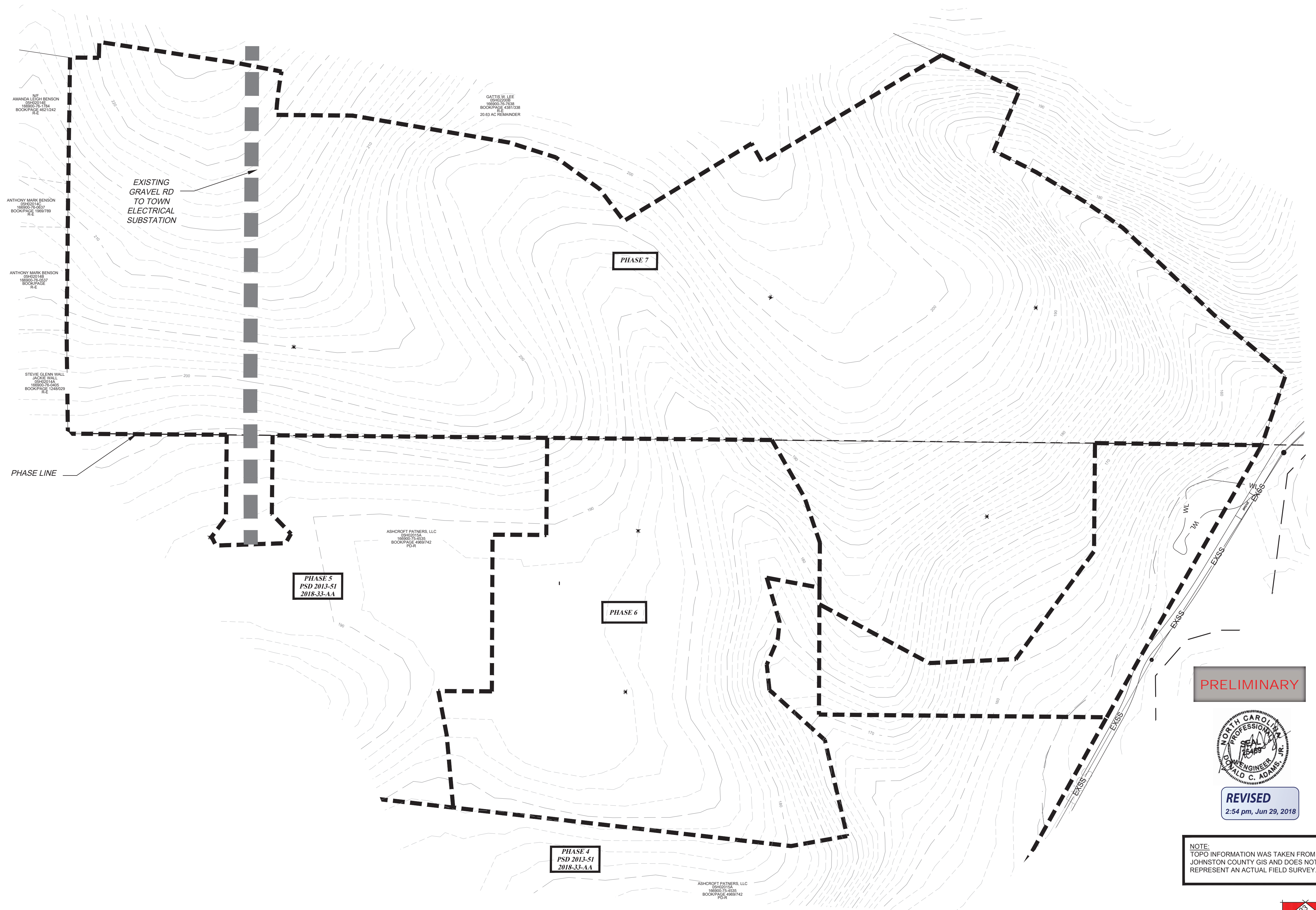
- EXISTING IRON PIPE
- EXISTING IRON ROD
- EXISTING CONCRETE MONUMENT
- ▲ CALCULATED/SET POINT
- TELEPHONE PEDESTAL
- ⊕ CATY PEDESTAL
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ WELL
- ⊕ DROP INLET
- ⊕ GAS VALVE
- ⊕ ELECTRIC PEDESTAL
- ⊕ LIGHT POLE
- ⊕ POWER POLE
- ⊕ CLEANOUT
- ⊕ SEWER MANHOLE
- ⊕ STORM MANHOLE

Survey for:
Ashcroft Partners, LLC

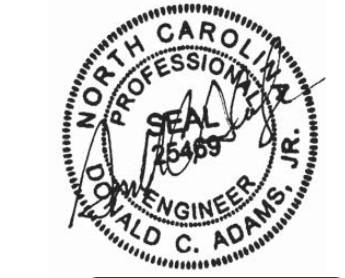
of:
 The Property Described in Deed Book 4381 Page 338 Johnston
 County Registry
 Clayton TWSP., Johnston County, North Carolina
 PIN : 166900-76-7638



DATE: 06/26/2018

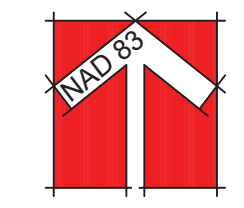
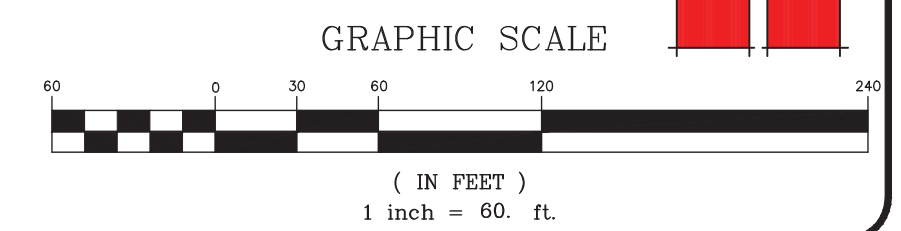


PRELIMINARY



REVISED
2:54 pm, Jun 29, 2018

NOTE:
TOPO INFORMATION WAS TAKEN FROM
JOHNSTON COUNTY GIS AND DOES NOT
REPRESENT AN ACTUAL FIELD SURVEY.



Reference:
314 East Main Street
Clayton, NC 27920
adam@adamsandhodge.com
919-243-1332
FIRM # C-1487

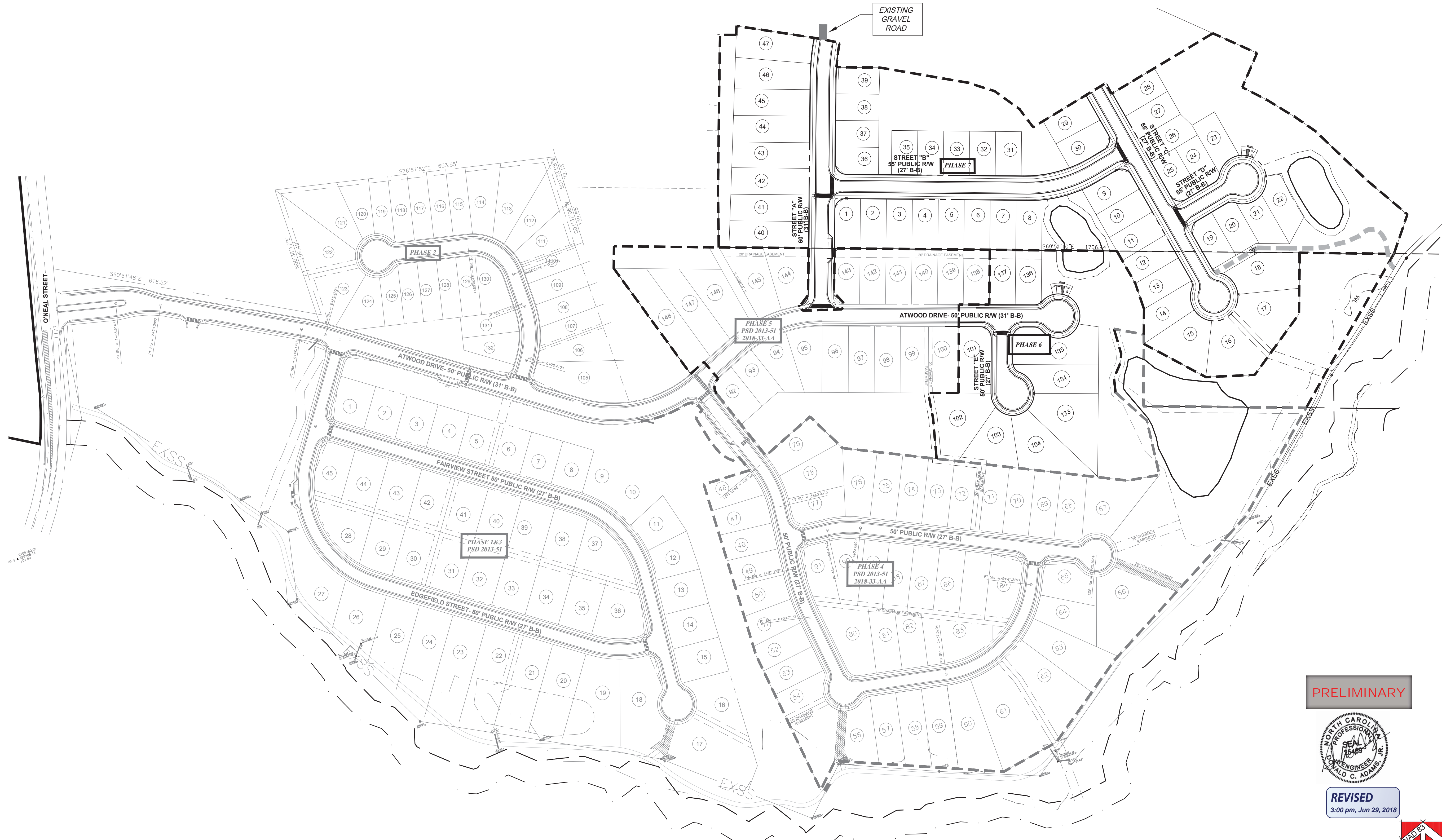


ASHCROFT SUBDIVISION
PHASES 6 & 7
TOWN OF CLAYTON, JOHNSTON COUNTY, NC

EXISTING CONDITIONS

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 06/29/2018
JOB NO.: AH-
SHEET:

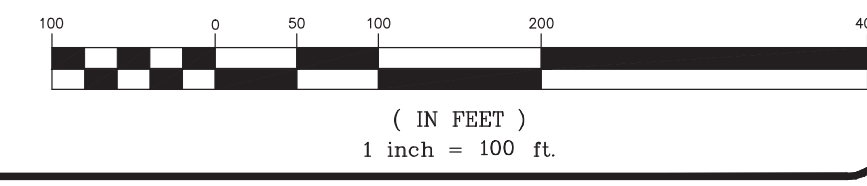
SP1



PRELIMINARY



REVISED
3:00 pm, Jun 29, 2018



314 East Main Street
Clayton, NC 27520
dominic@adamsandhodge.com
919.243.1332
FROM: C-187

ADAMS & HODGE
ENGINEERING, PC



ASHCROFT SUBDIVISION
PHASES 6 & 7
TOWN OF CLAYTON, JOHNSTON COUNTY, NC

PHASES 6 & 7
PHASING PLAN w/
OVERALL MASTER PLAN

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 06/29/2018
JOB NO.: AH-
SHEET:

SP3

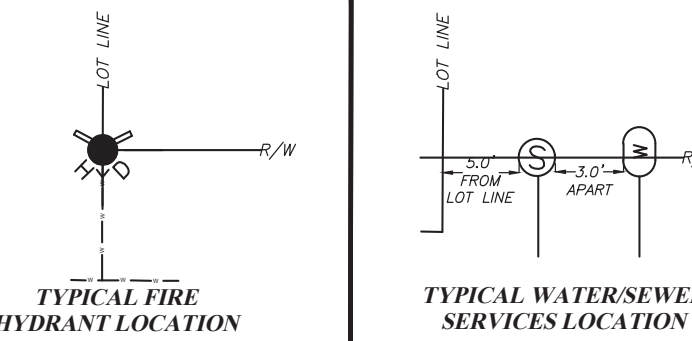
WATER SYSTEM PROJECT SUMMARY:
 1. THERE ARE 56 SINGLE FAMILY LOTS SERVED BY THIS WATER SYSTEM EXTENSION.
 2. THE LENGTHS AND SIZES OF WATER MAIN EXTENSIONS ARE AS FOLLOWS:
 ±2404 LF OF 6" PVC MAIN

SEWER SYSTEM PROJECT SUMMARY:
 1. THERE ARE 56 SINGLE FAMILY LOTS SERVED BY THIS GRAVITY SEWER SYSTEM EXTENSION.
 2. THE LENGTHS AND SIZES OF SEWER MAIN EXTENSIONS ARE AS FOLLOWS:
 ±2502 LF OF 8" PVC MAIN

STREET SUMMARY:
 1. THE TOTAL LINEAR OF STREETS:
 ±2,300 LF THIS SUBMITTAL

WASTE WATER ALLOCATION SUBMITTED FOR:
 (56) 3BDRM UNITS WITH 250 GPD/UNIT= 14,000 GPD

WATER AND SEWER SERVICES MUST BE:
 1. INSTALLED 3' APART
 2. INSTALLED ±5' FROM LOW SIDE OF LOT CORNER, PER STREET GRADE.
 3. WATER AND SEWER SERVICES SHOULD BE INSTALLED ON THE RIGHT-OF-WAY LINE.
 4. SEWER SERVICE MUST BE INSTALLED CLOSEST TO LOT CORNER
 5. SEE DETAILS BELOW.



LEGEND

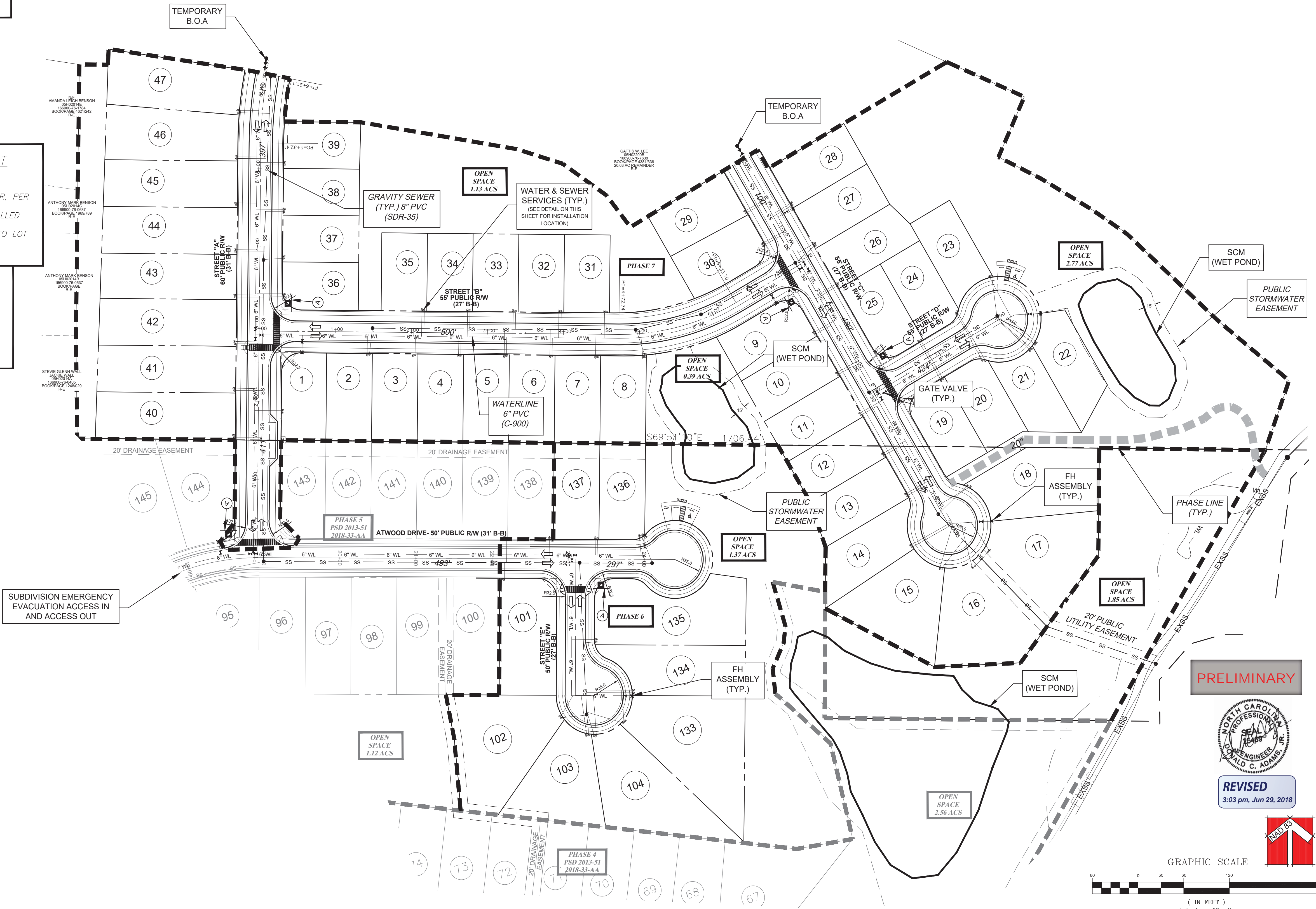
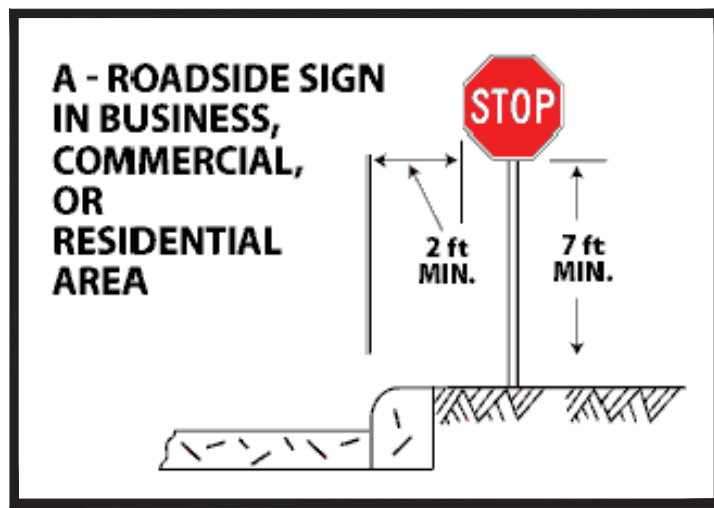
PROPOSED

| | |
|-----------------------|--------|
| W/L | 6" WL |
| BLOWOFF | Symbol |
| HYDRANT | Symbol |
| VALVE | Symbol |
| METER | Symbol |
| SEWERLINE | Symbol |
| MANHOLE | Symbol |
| CLEANOUT | Symbol |
| STORM DRAINAGE | Symbol |
| CATCH BASIN | Symbol |
| DROP INLET/YARD INLET | Symbol |

NOTE:
 A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR WATER, SEWER, EROSION CONTROL, GRADING AND STREET EXTENSION TO BE SUBMITTED TO AND APPROVED BY TOWN'S ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

NOTES:
 1. ALL PUBLIC WATER AND SEWER UTILITY MATERIALS AND METHODS OF INSTALLATION TO BE IN ACCORDANCE WITH TOWN OF CLAYTON STANDARDS AND SPECIFICATIONS AND MEET APPLICABLE NC PLUMBING CODES.
 2. CONTRACTOR SHALL CALL NC CALL ONE AT 1-800-632-4949 TO VERIFY LOCATION OF EXISTING SERVICES BEFORE BEGINNING CONSTRUCTION.
 3. CONTRACTOR SHALL REPAIR ALL AREAS DISTURBED TO THEIR ORIGINAL CONDITIONS. THIS INCLUDES ANY EXISTING UTILITY DAMAGE AND REPAIR OF ANY PAVEMENT, WALKWAYS, OR STRUCTURAL ITEMS, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, ELECTRIC, GAS, IRRIGATION, CATV, FIBER OPTIC, TELEPHONE, LANDSCAPING, PAVEMENT, SIDEWALKS AND CURB & GUTTER.
 4. INTERNAL SIDEWALKS TO BE INSTALLED BY BUILDER

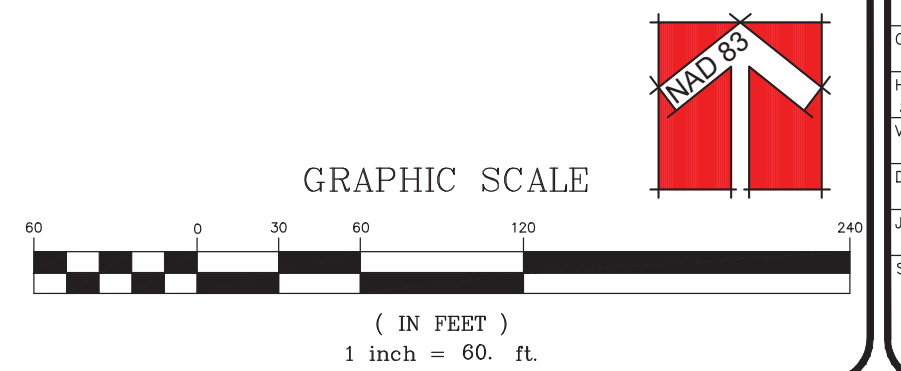
NOTE:
 1. SEE SHEET SP2 FOR TYPICAL ROAD SECTIONS.
 2. SEE SHEET SP5 FOR FIRE RESCUE LAYOUT.



PRELIMINARY



REVISED
 3:03 pm, Jun 29, 2018



314 East Main Street
 Clayton, NC 27520
 919.243.1332
 adamsh@adamsh.com
 FIRM # C-4187

ADAMS & HODGE
 ENGINEERING, PC

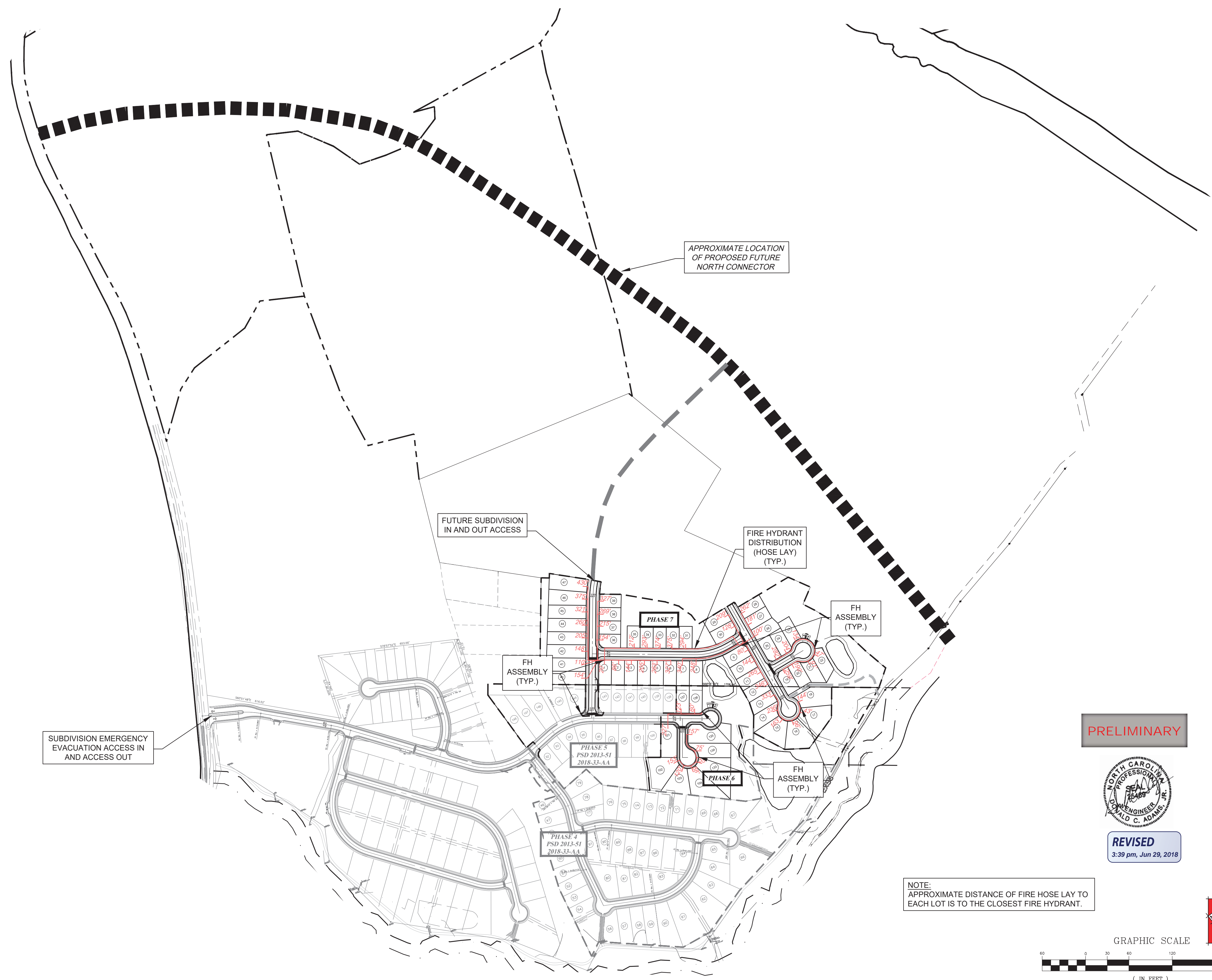


ASHCROFT SUBDIVISION
 PHASES 6 & 7
 TOWN OF CLAYTON, JOHNSTON COUNTY, NC

PRELIMINARY
 UTILITY PLAN

DESIGN: DCA/ADS
 DRAWN: ADS
 CHECKED: DCA
 HORIZONTAL SCALE: SEE GRAPHIC SCALE
 VERTICAL SCALE: N/A
 DATE: 06/29/2018
 JOB NO.: AH-
 SHEET:

SP4

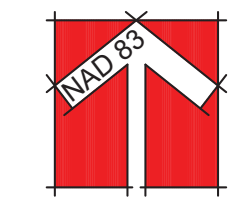
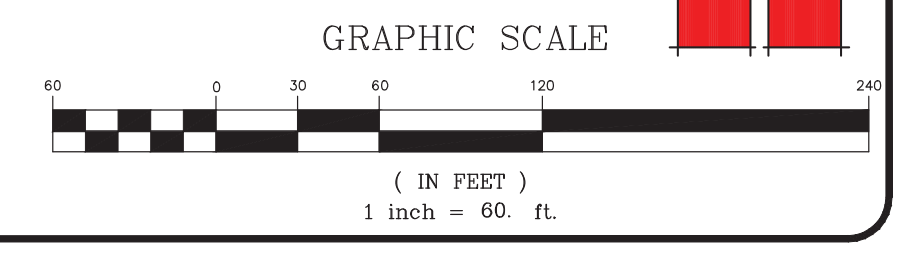


PRELIMINARY



REVISED
3:39 pm, Jun 29, 2018

NOTE:
APPROXIMATE DISTANCE OF FIRE HOSE LAY TO
EACH LOT IS TO THE CLOSEST FIRE HYDRANT.



314 East Main Street
Clayton, NC 27920
adam@adamsandhodge.com
919-243-1332
FIRM # C-187

A&H **ADAMS & HODGE**
ENGINEERING, PC

ASHCROFT SUBDIVISION
PHASES 6 & 7
TOWN OF CLAYTON, JOHNSTON COUNTY, NC

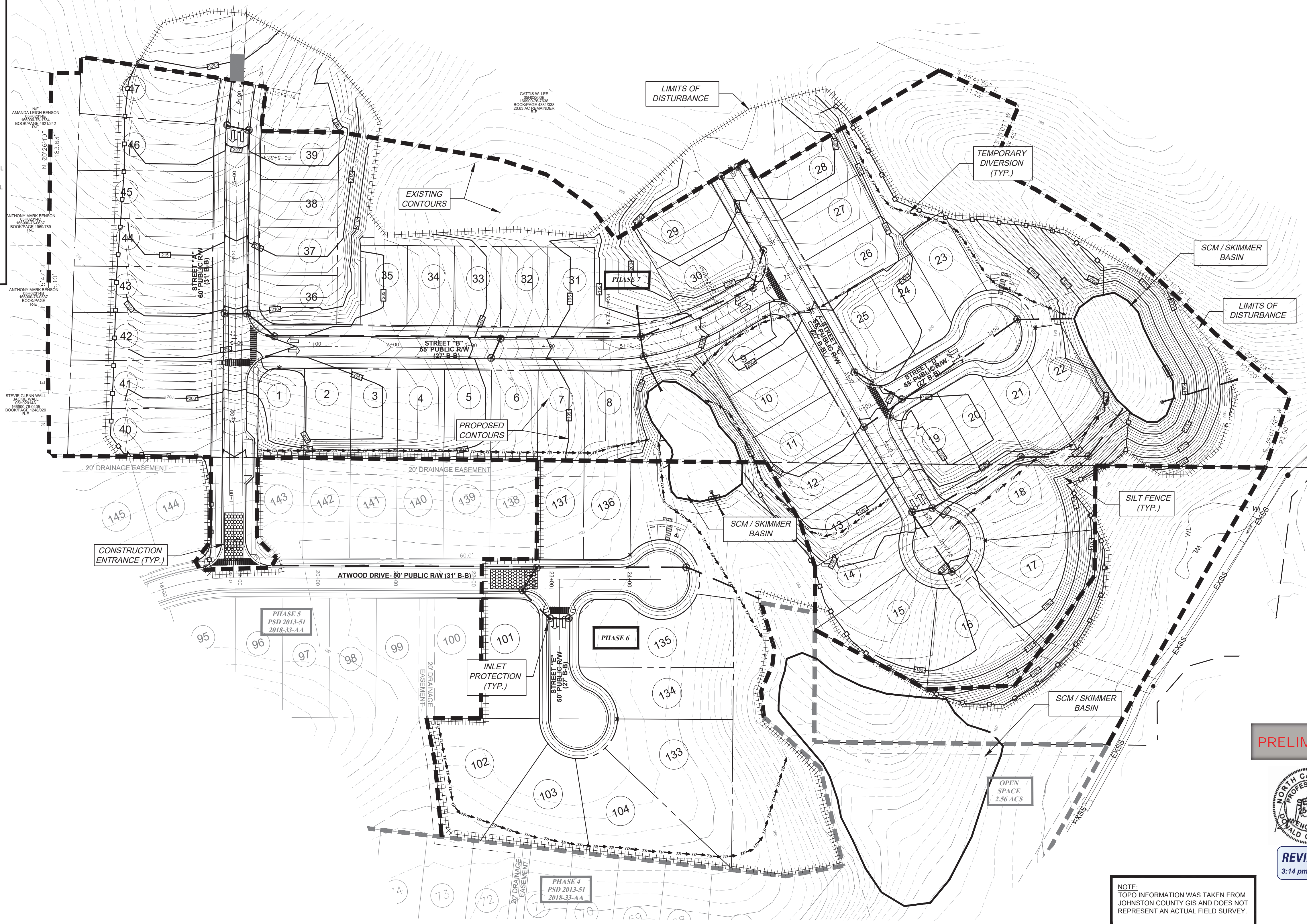
FIRE RESCUE &
FUTURE ACCESS PLAN

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SET GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 06/29/2018
JOB NO: AH-
SHEET

SP5

EROSION LEGEND:

- LIMITS OF DISTURBANCE
- SILT FENCE
- EXISTING TEMPORARY DIVERSION
- TEMPORARY DIVERSION
- PROPERTY TEMPORARY DIVERSION
- INLET PROTECTION
- OUTLET PROTECTION
- CHECK DAM
- WADDE
- CHECK DAM W/ WEIR & STORAGE
- WADDE W/ STORAGE
- CONSTRUCTION ENTRANCE
- DITCH LINER - NAG P300 OR EQUAL
- DITCH LINER - NAG S150 OR EQUAL
- *NOTE* ALL DITCHES LINED W/ NAG S150 UNLESS OTHERWISE NOTED.
- SILT FENCE OUTLET
- 220 --- EXISTING CONTOUR
- 220 --- PROPOSED CONTOUR
- CONCRETE WASHOUT AREA

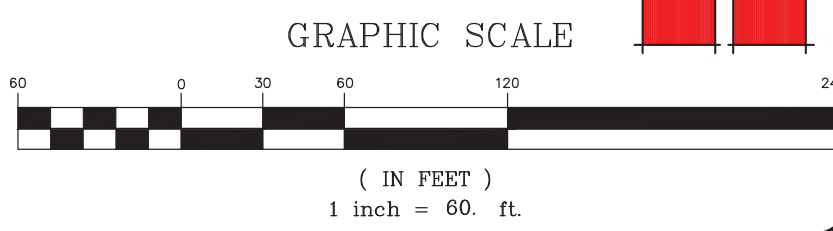


PRELIMINARY



REVISED
3:14 pm, Jun 29, 2018

NOTE:
TOPO INFORMATION WAS TAKEN FROM
JOHNSTON COUNTY GIS AND DOES NOT
REPRESENT AN ACTUAL FIELD SURVEY.



314 East Main Street
Clayton, NC 27920
dominic@adamsandhodge.com
919.243.1332
FIRM # G-4181

ADAMS & HODGE
ENGINEERING, PC

ASHCROFT SUBDIVISION
PHASES 6 & 7
TOWN OF CLAYTON, JOHNSTON COUNTY, NC

PRELIMINARY
GRADING AND
EROSION CONTROL PLAN

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 06/29/2018
JOB NO: 44-
SHEET

SP6

STREET YARD TREES

1. STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE PER LOT OR ONE CANOPY TREE FOR EVERY 40 LINEAR FT. (SPACE A MAXIMUM OF 50 FT. APART).
2. ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AT TIME OF PLANTING AND SHALL BE PLANTED IN THE TREE STRIP NO LESS THAN FIVE FT. OR MORE THAN 15 FT. FROM THE BACK OF THE SIDEWALK.
3. NUTTALL OAK, QUERCUS NUTTALLII, IS THE DESIGNATED STREET TREE

NOTES

1. ALL OPEN SPACE TO BE MAINTAINED BY ASHCROFT HOA.
2. THE DEVELOPER WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED TREES WITHIN ANY LAND USE BUFFER.

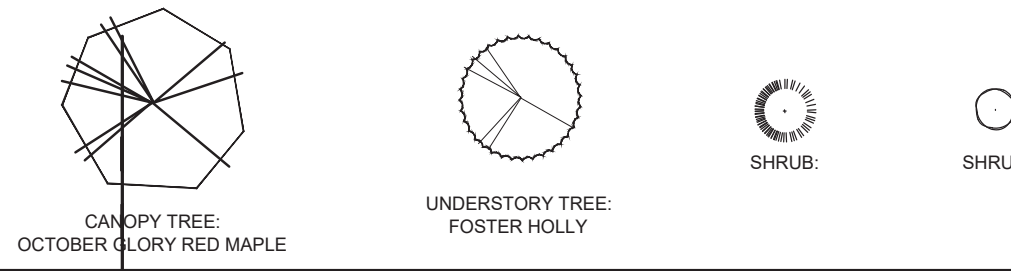
NOTES:

1. ALL ROOF, GROUND, AND WALL MOUNTED MECHANICAL EQUIPMENT SHALL BE COMPLETELY SCREENED FORM VIEW. 155.402(G)(2).
2. THE DUMPSTER ENCLOSURE SHALL MATCH THE MATERIALS OF THE PRIMARY STRUCTURE. 155.402(G)(2) SEE DETAIL ON SHEET SPO9.
3. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL, SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR. (IF IRRIGATION WILL NOT BE UTILIZED, DROUGHT-TOLERANT SPECIES MUST BE USED).
4. ALL LANDSCAPED AREA SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

NOTE: SITE INTERIOR LANDSCAPING REQUIREMENTS

1. 20% OF THE TOTAL OPEN SPACE AREA SHALL BE LANDSCAPED.
- (1) CANOPY TREE, (1) UNDERSTORY TREE, AND (2) SHRUBS SHALL BE PLANTED FOR EACH 1,000 SF OF LANDSCAPE AREA REQUIRED. TREE NEED TO BE EVENLY PLANTED THROUGHOUT THE LANDSCAPED AREA, BUT MAY BE STAGGERED OR CLUSTERED AS NECESSARY TO MAXIMIZE VISUAL AND SCREENING OBJECTIVES, AND TO MEET THE NEEDS OF THE PARTICULAR SPECIES OF PLANTS FOR ROOT SPACE, WATER, LIGHT, AND AIR CIRCULATION.
- (7) CANOPY TREES
(7) UNDERSTORY TREE
(140) SHRUBS

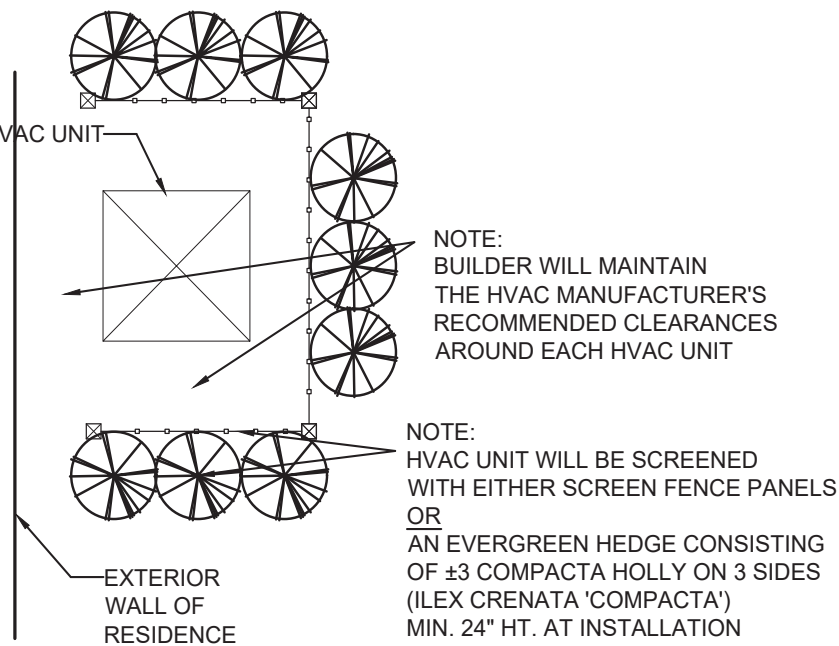
Plant Symbol Key



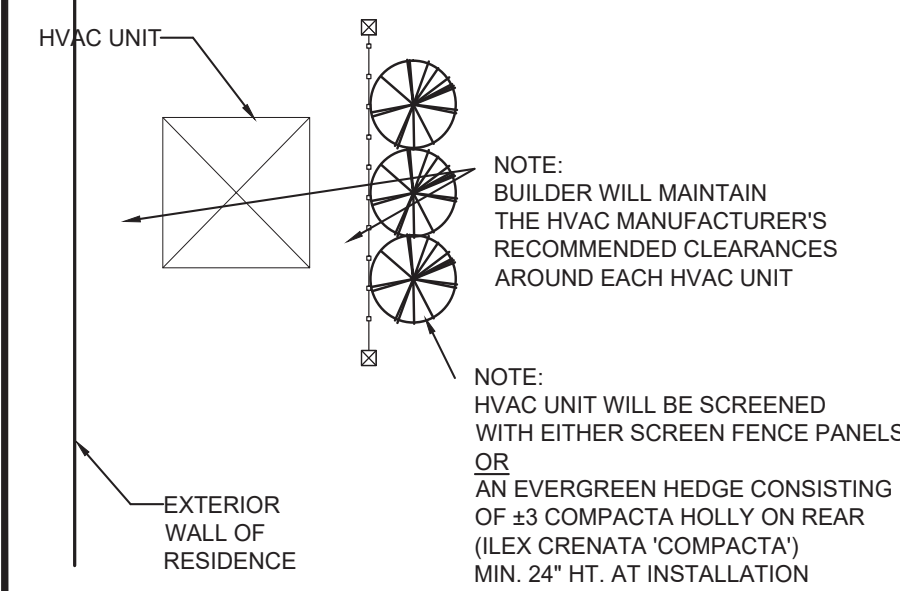
Landscape Notes

GENERAL LANDSCAPE NOTES

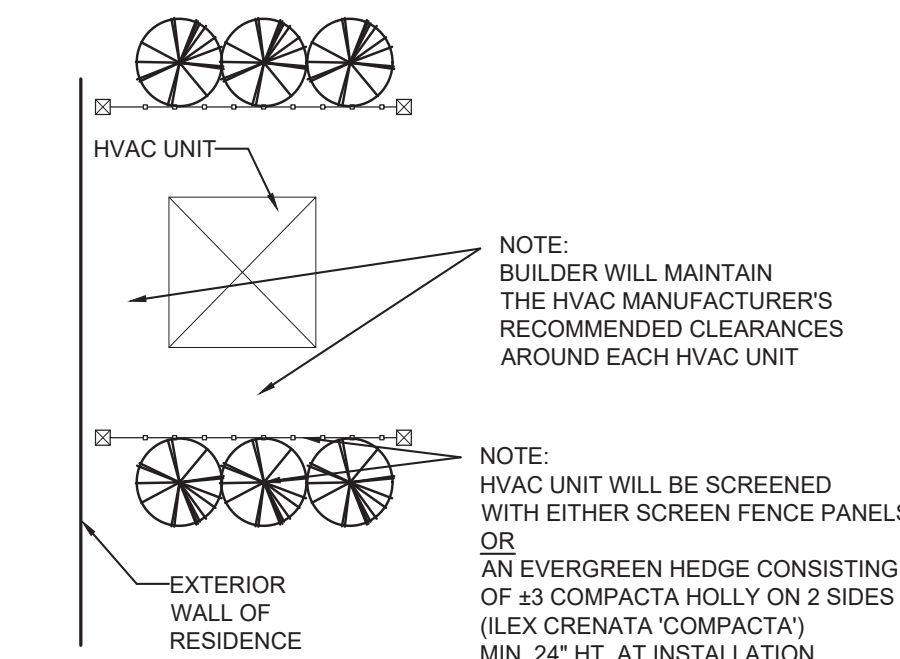
1. ALL PLANT MATERIALS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING AND SHALL BE RESPONSIBLE FOR THEIR REPAIR OR PAY FOR ALL DAMAGES MADE TO UNDERGROUND UTILITIES.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES.
4. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE LANDSCAPE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
5. ALL DISTURBED AREAS NOT IDENTIFIED TO EITHER BE SEEDED OR SOODED SHALL BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS.
6. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
7. ALL PLANTING BEDS, SAUCERS, AND AREAS DESIGNATED TO BE MULCHED SHALL BE MULCHED WITH A MINIMUM OF 3 INCHES OF TRIPLE SHREDED HARDWOOD MULCH.
8. PLANTING BEDS AND SAUCERS SHALL BE EDGED TO PROVIDE A 2" TO 3" DEEP "Y" CUT ALONG ITS BORDER WITH SOODED OR SEEDED AREAS.
9. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
10. GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
11. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL LANDSCAPING IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS SHOWN AND ENERGERATED ON THIS SHEET UNLESS ALTERNATIVE METHODS OR PRACTICES ARE REVIEWED AND ACCEPTED BY THE LANDSCAPE ARCHITECT.
12. AT INSTALLATION AND CONTINUOUSLY DURING THE MAINTENANCE CONTRACT, ALL PROPOSED SHRUBS THAT ARE SQUARE IN SHAPE AND ARRANGED IN ROWS, SHOULD BE PRUNED INTO BOUNDED AND CLIPPED HEDGEROWS.
13. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
14. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
15. ALL HVAC AND MECHANICAL EQUIPMENT WILL BE SCREENED WITH LANDSCAPING OR DECORATIVE FENCING.



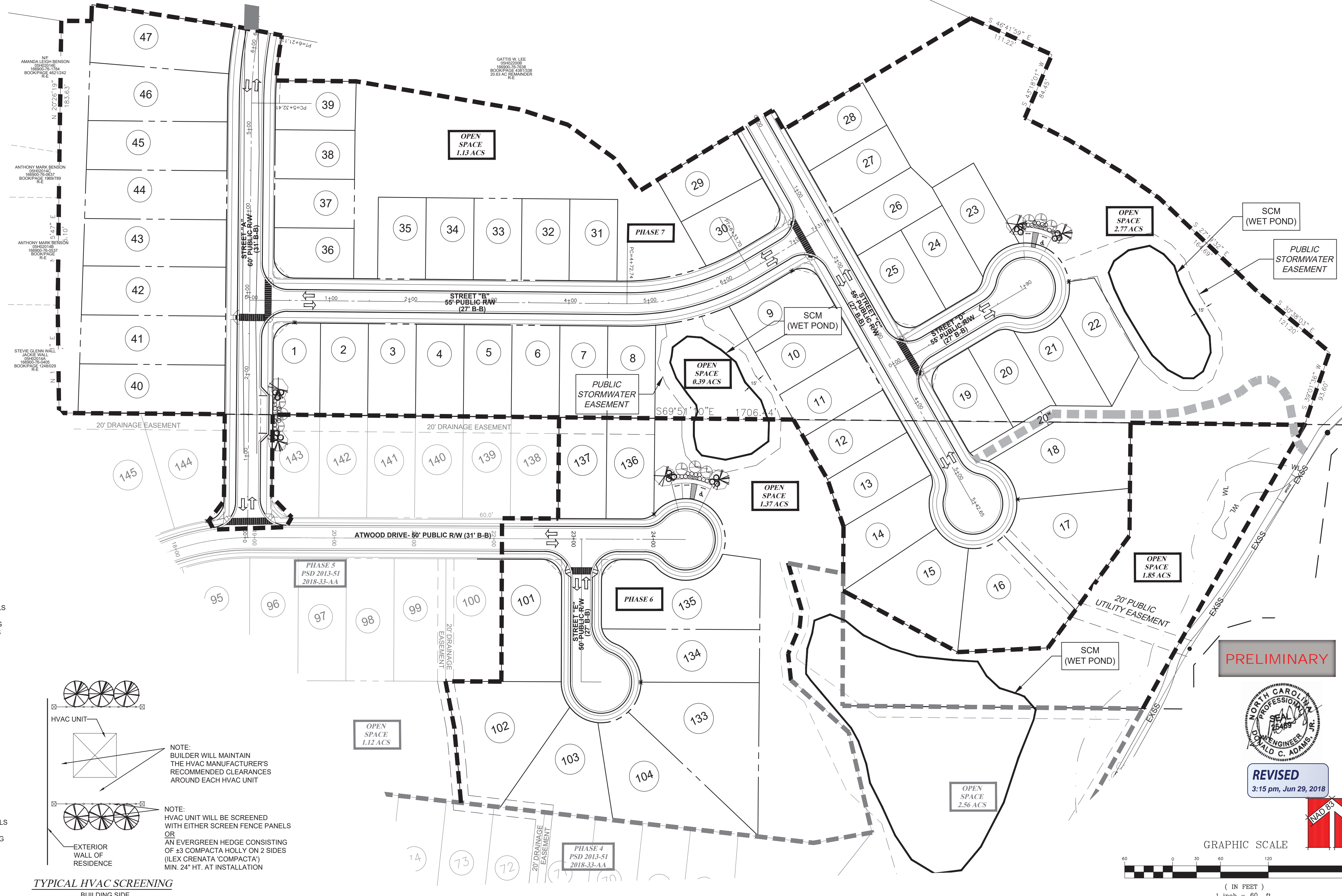
TYPICAL HVAC SCREENING
STREET SIDE



TYPICAL HVAC SCREENING
BUILDING REAR



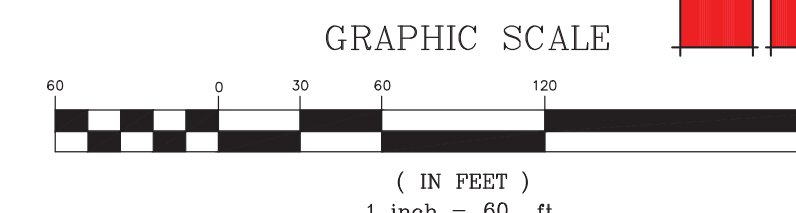
TYPICAL HVAC SCREENING
BUILDING SIDE



PRELIMINARY



REVISED
3:15 pm, Jun 29, 2018



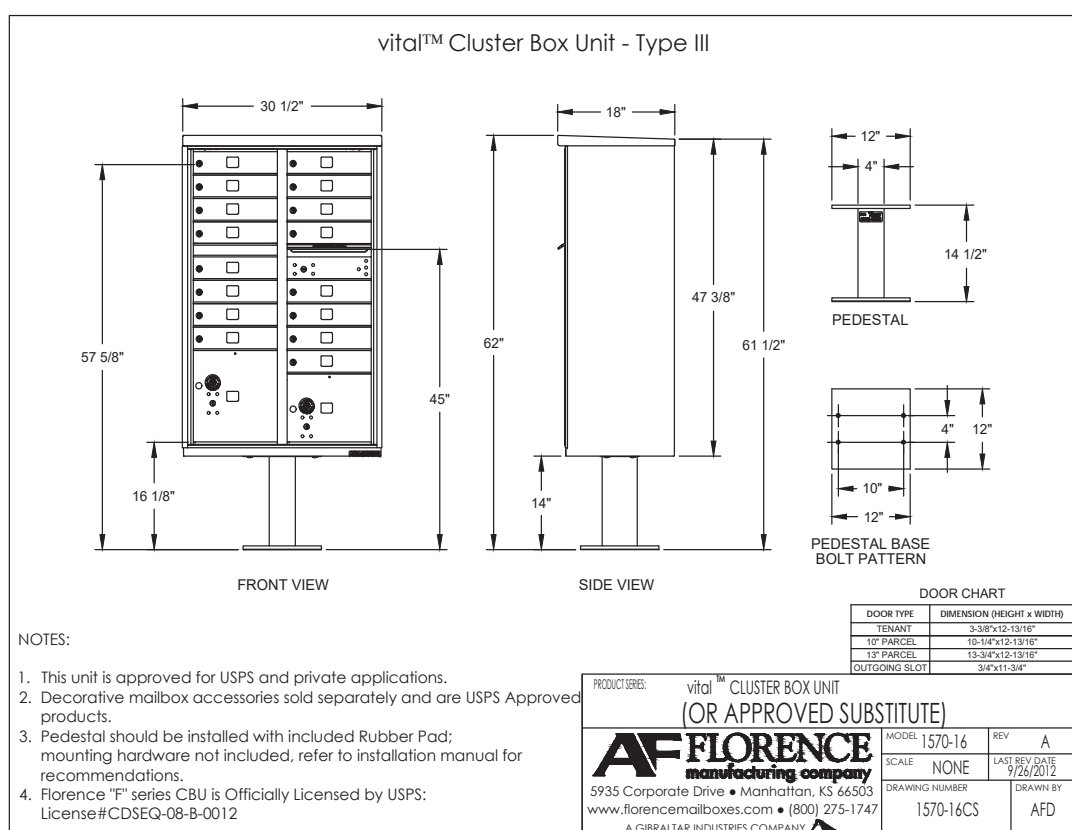
314 East Main Street
Clayton, NC 27020
dominic@adamsandhodge.com
919-243-1332
FIRM # C-4187

ADAMS & HODGE
ENGINEERING, PC

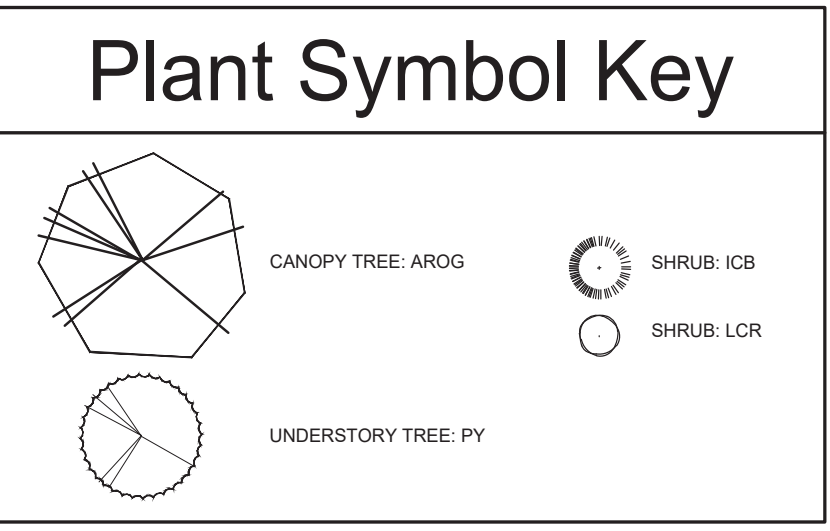
ASHCROFT SUBDIVISION
PHASES 6 & 7
TOWN OF CLAYTON, JOHNSTON COUNTY, NC

PRELIMINARY
LANDSCAPE PLAN

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 06/29/2018
JOB NO.: AH-
SHEET: SP7



CLUSTER MAILBOX UNIT
NOT TO SCALE



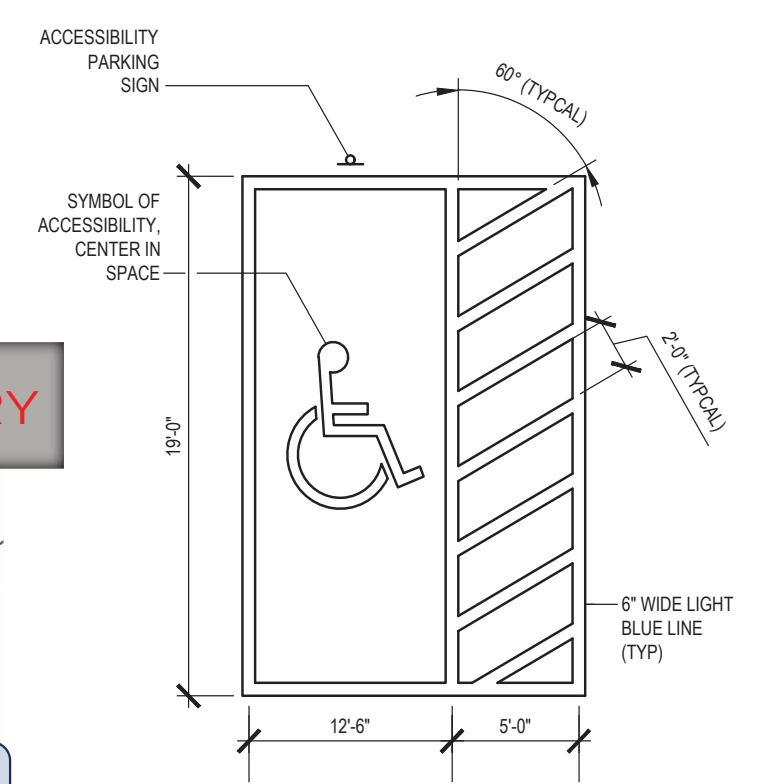
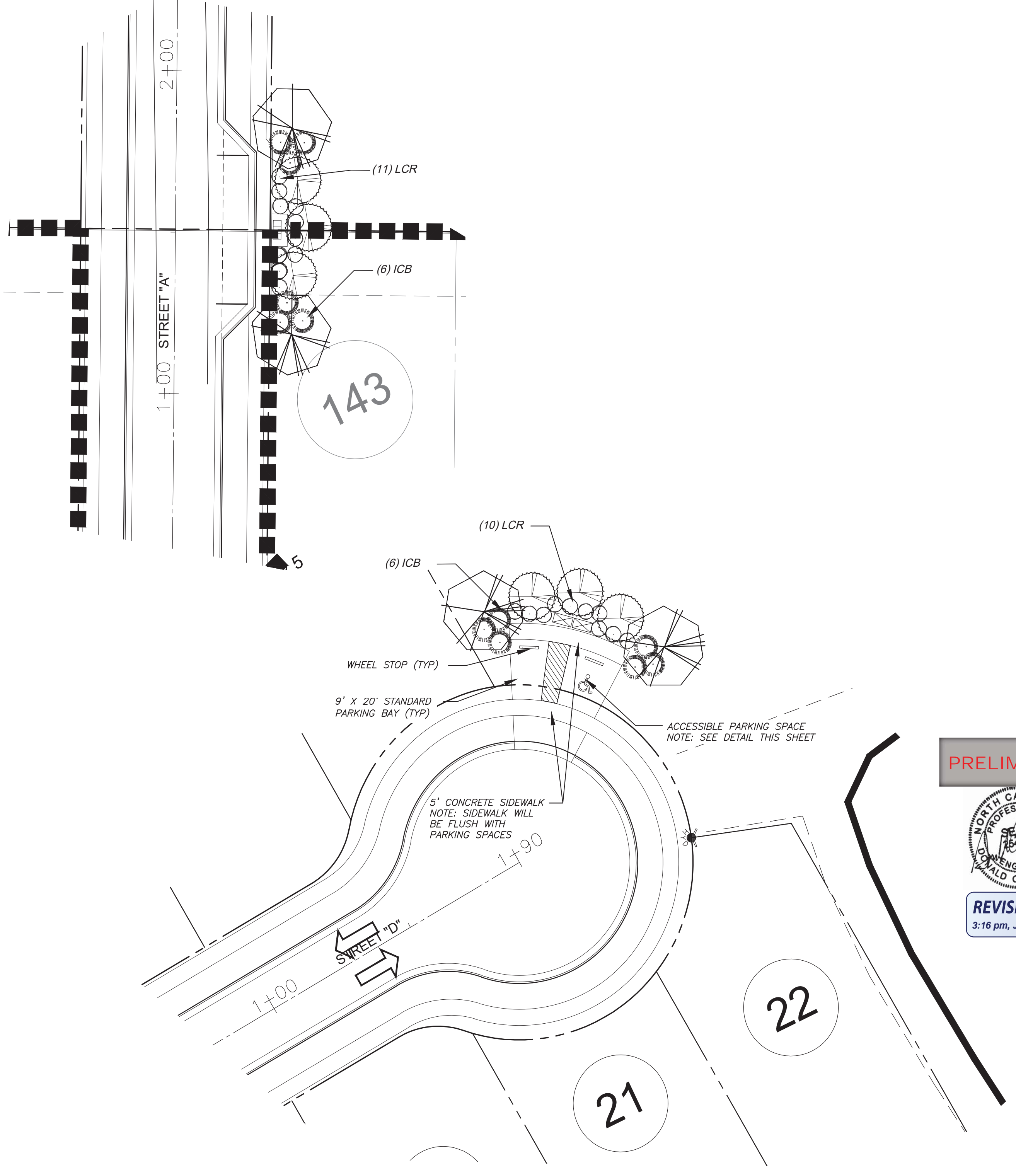
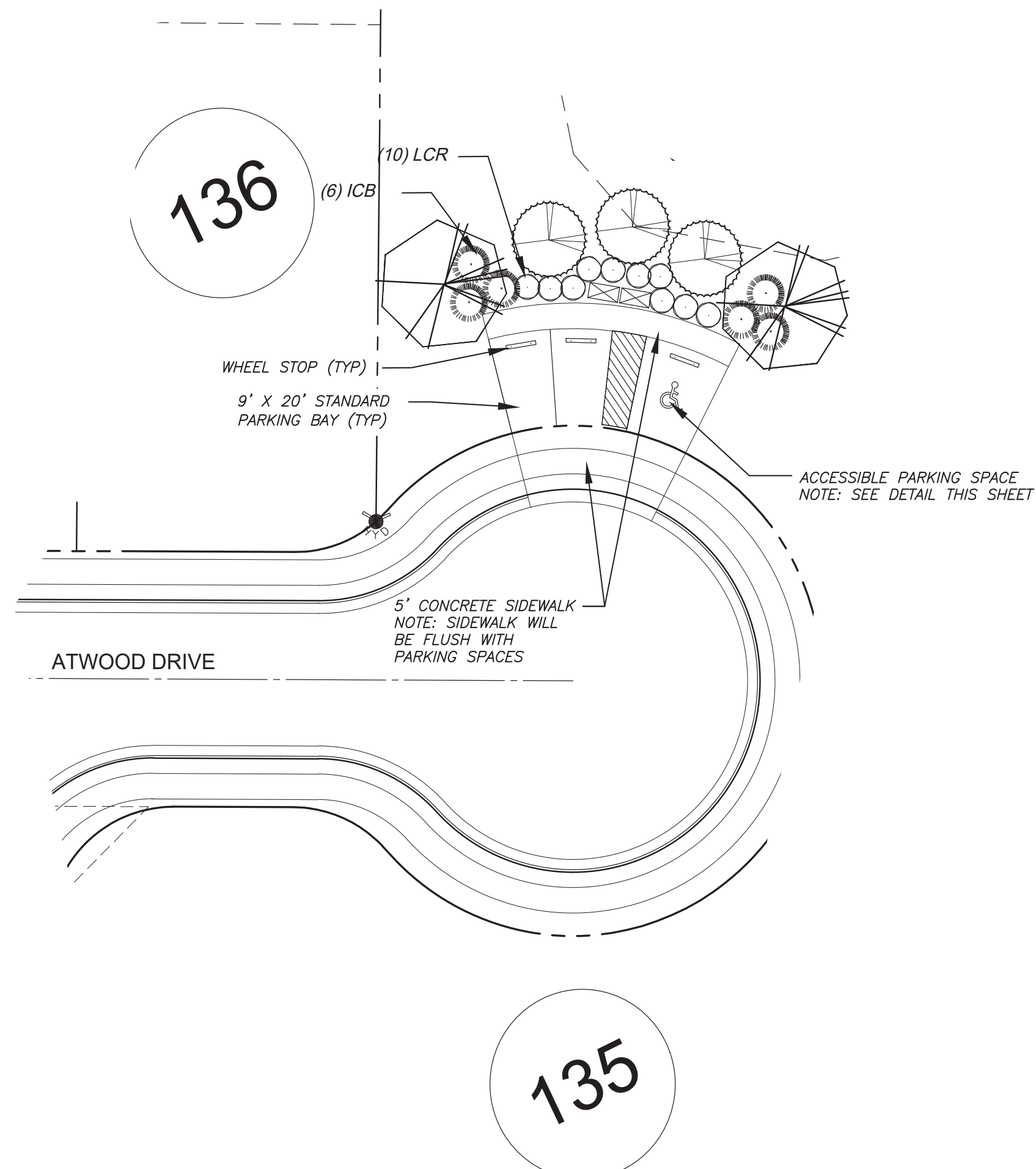
Cluster Mail Box Parking/Unit Plant List

| ALIAS | QTY. | BOTANICAL NAME | COMMON NAME | CALIPER | HEIGHT | SPREAD | ROOT |
|-------|------|-----------------------------|-------------------------|---------|----------|--------|----------|
| ARDG | 2 | ACER RUBRUM 'OCTOBER GLORY' | OCTOBER GLORY RED MAPLE | 2" | 8' MIN. | - | CONT:8&B |
| ICB | 6 | ILEX CORNUTA 'BURFORDII' | BURFORD HOLLY | - | 6' MIN. | - | CONT:8&B |
| LCR | 10 | LOROPETALUM CHINENSE 'RUBY' | RUBY LOROPETALUM | - | 12' MIN. | - | CONT |
| PY | 3 | PRUNUS X YEDOENSIS | YOSHINO CHERRY | 2" | 6' MIN. | - | CONT:8&B |

1. ALL PLANTS AND INSTALLATION SHALL BE IN ACCORDANCE WITH TOWN OF CLAYTON RULES, REGULATIONS AND REQUIREMENTS AND, AT THE LEAST, MEET THE TOWN'S MINIMUM REQUIREMENTS FOR CODE COMPLIANCY
 2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND IS TO NOTIFY THE CONTRACTOR ASAP OF ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE PLAN
 3. THE LANDSCAPE CONTRACTOR SHALL ADJUST ANY BUFFER PLANTING AS NEEDED TO MAINTAIN REQUIRED CLEARANCES AROUND TRANSFORMERS, GENERATORS AND OTHER UTILITIES THAT REQUIRE CLEARANCES FOR ACCESS

Landscape Notes

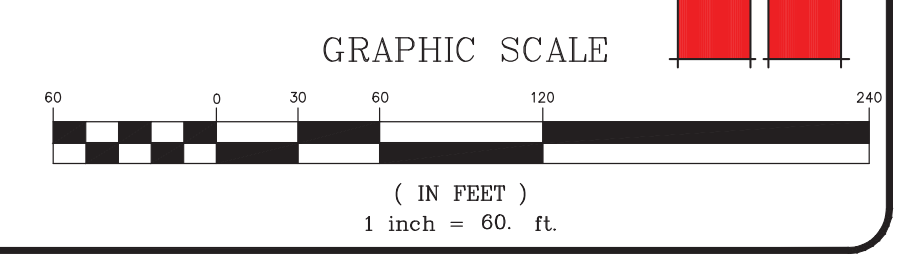
- GENERAL LANDSCAPE NOTES**
1. ALL PLANT MATERIALS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
 2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING AND SHALL BE RESPONSIBLE FOR THEIR REPAIR OR PAY FOR ALL DAMAGES MADE TO UNDERGROUND UTILITIES.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES.
 4. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE LANDSCAPE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 5. ALL DISTURBED AREAS NOT IDENTIFIED TO EITHER BE SEEDED OR SOODED SHALL BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS.
 6. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 7. ALL PLANTING BEDS, SAUCERS, AND AREAS DESIGNATED TO BE MULCHED SHALL BE MULCHED WITH A MINIMUM OF 3/4 INCHES OF TRIPLE SHADDED HARDWOOD MULCH.
 8. PLANTING BEDS AND SAUCERS SHALL BE EDGED TO PROVIDE A 2" TO 3" DEEP "Y" CUT ALONG ITS BORDER WITH SOODED OR SEEDER AREAS.
 9. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 10. GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
 11. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL LANDSCAPING IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS SHOWN AND ENUMERATED ON THIS SHEET UNLESS ALTERNATIVE METHODS OR PRACTICES ARE REVIEWED AND ACCEPTED BY THE LANDSCAPE ARCHITECT.
 12. AT INSTALLATION AND CONTINUOUSLY DURING THE MAINTENANCE CONTRACT, ALL PROPOSED SHRUBS THAT ARE SQUARE IN SHAPE AND ARRANGED IN ROWS SHOULD BE PRUNED INTO BOXED AND CLIPPED HEDGEROWS.
 13. ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.
 14. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR.
 15. ALL HVAC AND MECHANICAL EQUIPMENT WILL BE SCREENED WITH LANDSCAPING OR DECORATIVE FENCING.



ACCESSIBLE PARKING DETAIL
AS PER 155.401(C)(3)(b) OF THE TOWN OF CLAYTON UNIFIED DEVELOPMENT CODE
ADA PARKING SPACE TO HAVE NO MORE THAN A 2% CROSS SLOPE

PRELIMINARY

REVISED
3:16 pm, Jun 29, 2018



314 East Main Street
Clayton, NC 27020
919-241-1332
adamsh@adamshandhodge.com
FIRM # C-151

ADAMS & HODGE
ENGINEERING, P.C.

ASHCROFT SUBDIVISION
PHASES 6 & 7
TOWN OF CLAYTON, JOHNSTON COUNTY, NC

CLUSTER BOX UNIT
AND PARKING
SITE PLAN

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: AS SHOWN
VERTICAL SCALE: N/A
DATE: 06/29/2018
JOB NO: AH-
SHEET

SP8



TOWN OF CLAYTON
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application Fees: **Major Preliminary Subdivision Plat Fee: \$400.00 + \$5.00 per lot**
Advertisement Fee: \$100.00
Modifications to Approved Plans Fee:
 Major Modification: \$400.00 + \$5.00 per lot modified
 Minor Modification: \$200.00 + \$5.00 per lot modified

*See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.706(I) for Preliminary Plat approval (major subdivision) process/approval information.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.*

SITE INFORMATION

New Major Subdivision
 Conventional: _____ Open Space: _____

Modification to Approved Preliminary Plat
 Major: x Minor: _____

New Subdivision Master Plan

Name of Project: The Village at Parkview Ph 9-16 Acreage of Property: 3.85 ACS

Tag #: 05H02199C & 05H02198 NC PIN: 166909-06-1495 & 166909-06-1265

Location: 352 City Road, Clayton, NC 27520

Number of Lots (existing): 2 (Proposed) 39 total Min Lot Size: 1250 SF

Zoning District: R-10 Electric Provider: Town of Clayton

Wastewater: Septic Sewer (check one) Water: Well Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: _____

FOR OFFICE USE ONLY

Date Received: JUL 02 2013 Amount Paid: \$795 File Number: 2018-122-50

June 2018
 TOWN OF CLAYTON
 PLANNING DEPARTMENT

PROPERTY OWNER INFORMATION

Name: Sam's Branch LLC/Delila R B Thompson Living Trust
Mailing Address: 114 Main Street, Clayton, NC 27520 / 8013 Old Stage Rd., Raleigh, NC 27603
Phone Number: 919-422-6815 **Fax:** N/A
Email Address: reid@one27homes.com

APPLICANT INFORMATION

Applicant: Adams & Hodge Engineering, PC
Mailing Address: 314 East Main St., Clayton, NC 27520
Phone Number: 919-763-7278 **Fax:** N/A
Contact Person: Donnie Adams
Email Address: donnie@adamsandhodge.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

| To be completed by the applicant: | To be completed by the applicant: | | To be completed by staff: | | |
|--|-----------------------------------|-----|---------------------------|----|-----|
| | Yes | N/A | Yes | No | N/A |
| <i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i> | | | | | |
| 1. A pre-application meeting was held with Town Staff. Date: <u>05/16/2018</u> | ✓ | | | | |
| 2. Completed Application | ✓ | | | | |
| 3. Review Fee and Advertisement Fee | ✓ | | | | |
| 4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i> | ✓ | | | | |
| 5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i> | ✓ | | | | |
| 6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i> | ✓ | | | | |
| 7. Plat sheet(s) meeting requirements of the Requirements Checklist | ✓ | | | | |
| 8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(I)(7). | | ✓ | | | |
| 9. Adjacent Property Owners List | ✓ | | | | |
| 10. Road Name Application <i>Included in this packet</i> | ✓ | | | | |
| 11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i> | ✓ | | | | |

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

(1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.
This subdivision meets all applicable regulations and conforms to the UDO.

(2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
The subdivision design is such that it will be beneficial to orderly development on adjacent tracts.

(3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.
The subdivision is designed to provide proper traffic flow within the neighborhood and provides points of connection to the existing street system for a safe ingress and egress.

(4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.
The subdivision is consistent with the orderly development pattern of the town.

Project Name: The Village at Parkview Phases 9-16

Adams & Hodge
Print Name

[Signature]
Signature of Applicant

6/29/2018
Date



TOWN OF CLAYTON
Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: The Village at Parkview Ph 9-16 Address or PIN #: 300 City Road, Clayton
05H02148

AGENT/APPLICANT INFORMATION:

Adams & Hodge Engineering, PC 314 E. Main St.
 (Name - type, print clearly) (Address)
Clayton, NC 27520
 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

Rezoning Final Plans
Major Subdivision Construction Plans

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION: Delila B Thompson
Carol Boyette, Trustee Living Trust 8011 Old Stage Rd
 (Name - type, print clearly) (Address)
Carol S. Boyette, Trustee Raleigh NC 27603
 (Owner's Signature) (City, State, Zip)

STATE OF North Carolina
 COUNTY OF Wake

Sworn and subscribed before me Marguerite Sawicki, a Notary Public for the above State and County, this the 17 day of May, 2018.

SEAL



Marguerite Sawicki
 Notary Public

My Commission Expires: 11-1-2022

October 2013

p.1

919-772-8432

Clyde and Carol Boyette

May 17 18:04:31p



TOWN OF CLAYTON
 Planning Department
 111 E. Second St., P.O. Box 879
 Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: The Village at Parkview JPh9-16 Address or PIN #: 166909-06-1495

AGENT/APPLICANT INFORMATION:

Adams & Hodge Engineering, PC 314 E. Main St.
 (Name - type, print clearly) (Address)
Clayton, NC 27520
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests):

REZONING FINAL PLATS
MAJOR SUBDIVISION CONSTRUCTION PLANS

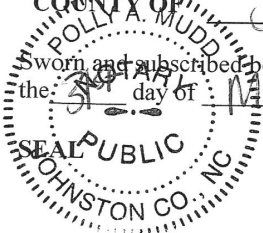
Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

SAMS BRANCH LLC 114 W. MAIN ST
 (Name - type, print clearly) (Address)
[Signature] CLAYTON, NC 27520
 (Owner's Signature) (City, State, Zip)

STATE OF North Carolina
 COUNTY OF Johnston



Sworn and subscribed before me Polly A. Mudd, a Notary Public for the above State and County, this the 5th day of May, 2018.

[Signature]
 Notary Public
 My Commission Expires: June 18, 2020



TOWN OF CLAYTON
 Planning Department
 111 E. Second St., P.O. Box 879
 Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

PLAN REQUIREMENTS

Pursuant to Article 7, Section 155.706 of the Unified Development Code, applications requesting a public hearing or administrative approval process shall submit a plan set to the Planning Department. These plans may include Master Plan, Site Plan, Subdivision Plan, Regulating Plan, Architectural Elevations, Landscape Plan, Photometric/Lighting Plan, Engineering Plans, and Survey. The plan requirements shall be based on the type of development application or approval process.

PLAN FORMAT

These standards are established to provide information pertaining to the graphic and format presentation of plans. The following is required for all types of plans, except where otherwise noted:

- All plans and architectural elevations shall be limited to 24" x 36" in size, and folded to an 8.5" x 11" format.
- Plans are to be drawn at the same engineering scale of 1" = 20'; 30'; 40'; 50'; 60' (architectural elevations and details are exempt from this requirement) with north oriented in the same direction.
- Plans may be drawn at an engineering scale of 1" = 100', if approved by the Planning Department or the Technical Review Committee (TRC).
- Architectural plans and elevations shall be drawn at an architectural scale of 1" = 3/32', 3/16', 1/8', 1/4', or 3/8'.
- All drawings, except elevations, isometric drawings, and renderings, shall be in two dimensional plan views.
- All text shall be clear and legible.
- Line weight hierarchy on all plans shall be consistent with common drafting standards.
- Multiple sheets shall be consecutively numbered (e.g. Sheet 1 of 4).
- All numerical references shall be rounded up to a maximum of two decimal points.

PLAN ELEMENTS AND GRAPHIC DATA

The following items include general and project information. This information is required to be present on all plans, except where otherwise noted.

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | Consultant Logo Box (name, address, phone number, fax, and e-mail, if applicable) |
| ✓ | | | Project/Application Name |
| ✓ | | | Type of Plan (site plan, landscape plan, elevations, etc.) |
| ✓ | | | Signature and Professional Seal (landscape plans, architectural elevations, engineering plans, surveys) |
| ✓ | | | Revision Date |
| ✓ | | | Sheet Number |
| ✓ | | | Location Map (site plan only) |
| ✓ | | | North Arrow |
| ✓ | | | Graphic Scale (engineering or architectural graphic and written scale) |

The following elements are specific to each property and application request, and shall be shown graphically on the specific plan types listed below. These graphics shall be supported by text, labeling, and dimensional information (width, length, and depth).

SURVEY

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department) with the bearings and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina. |
| | ✓ | | The existing topographical conditions of the property with a two-foot contour interval. |
| ✓ | | | The existing streets and roadway improvements (medians, landscaping, signage, driveways, etc.) within 100 feet of project boundary. |
| ✓ | | | The existing structures located on the subject property. |
| ✓ | | | The existing structures within 100 feet of project boundary. |
| ✓ | | | The existing utilities (including inverts of pipes, rim elevations, wells and septic tanks, etc.) within 100 feet of project site. |
| | ✓ | | The existing trees identified by caliper and species (if required by the Planning Department). |

SITE PLAN

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | Site data table |
| ✓ | | | Name of project (AKA names if applicable) |
| ✓ | | | Parcel identification number (and/or Tag number) |
| ✓ | | | Property size (acres and square feet) |
| ✓ | | | Property location (Town limits or ETJ) |
| ✓ | | | Existing zoning district |
| ✓ | | | Proposed zoning district (if applicable) |
| | | ✓ | Overlay (if applicable) |
| ✓ | | | Existing use |
| ✓ | | | Proposed use |
| | | ✓ | Number of seats/students/fueling positions (as applicable). |
| | | | Number of housing units proposed, per housing unit type. |
| ✓ | | | Existing density (number of units per acre) |
| ✓ | | | Proposed density (number of units per acre) |
| ✓ | | | Existing intensity (gross floor area) |
| ✓ | | | Proposed intensity (gross floor area) |
| ✓ | | | Floor area ratio |

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | Building coverage (as percentage of total site) |
| ✓ | | | Pervious surface area (square feet and as percentage of total site) |
| ✓ | | | Impervious surface area (square feet and as percentage of total site) |
| ✓ | | | Building height (number of stories and in feet) |
| ✓ | | | Required parking (list requirement i.e. 1 space per 300 SF) |
| ✓ | | | Proposed parking |
| ✓ | | | Required/proposed handicap accessible parking |
| | | ✓ | Required loading space(s) |
| ✓ | | | Provide name of Electric Provider. |
| ✓ | | | Provide name of Water Provider. |
| ✓ | | | Provide name of Sewer Provider. |

The items listed below are required to be delineated (in a tabular format) on the site plan:

Other site plan elements:

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| ✓ | | | Identify adjacent property owners, their parcel ID number, current zoning and present use. |
| ✓ | | | Identify the affected area for amendments to previously approved projects |
| | | ✓ | Overlay (if applicable) |
| ✓ | | | Existing use |
| ✓ | | | Proposed use |
| | | ✓ | Number of seats/students/fueling positions (as applicable). |
| ✓ | | | Identify existing easements. |
| ✓ | | | Identify proposed easements. |
| ✓ | | | Identify Open Space/Common Areas. |
| ✓ | | | Identify clear sight triangle at project ingress/egress points. |
| ✓ | | | Identify driveways, curb and gutter, cross section with ROW. |
| ✓ | | | Provide boundaries of Resource Conservation Areas (see UDC Section 155.500). |
| ✓ | | | Provide an off-street parking and loading layout (with details, dimensions and access location). Accessible parking requirements are listed in NCSBC Volume 1C, 1999 edition. Show traffic circulation arrows. |
| | | ✓ | Provide queuing details for drive-up/drive-thru facilities (if applicable). |
| ✓ | | | Provide the locations and dimensions of existing and proposed sidewalks. |
| ✓ | | | Provide the location and details of refuse collection areas. |
| | | ✓ | Provide the location, size and orientation of freestanding signs. |
| ✓ | | | Identify the location and nature of all recreational facilities and common areas. |
| | | ✓ | Identify alternative modes of transportation including school stops pedestrian connections, bicycle paths and associated racks. |
| ✓ | | | Identify proposed phasing (phasing lines) of construction. |
| | | ✓ | Cul-de-sacs must be dimensioned. |
| ✓ | | | Identify cluster mailbox unit (CBU) locations and details. |

CONCEPTUAL ENGINEERING PLANS

Note: Conceptual engineering plans are deemed preliminary in nature. Review and approval of public infrastructure construction plans is a separate process performed by Public Works Engineering Division.

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | Identify proposed streets and roadways (public and private) with dimensions and cross sections. <i>SEE SHEET SPO2 FOR CROSS SECTION.</i> |
| ✓ | | | Identify the curve radii for all internal and external vehicular use areas. |
| ✓ | | | Identify access to the project. |
| ✓ | | | Identify existing conditions and proposed grading plans. |
| ✓ | | | Identify Tree Conservation Areas shown on grading plan. |
| ✓ | | | Show proposed flow of traffic. |
| ✓ | | | Identify proposed traffic control signs and striping. |
| ✓ | | | Identify the proposed water distribution system (including size) with location of fire hydrants and point of connection. |
| ✓ | | | Identify the proposed sanitary sewer collection system (including size) and point of connection. If a municipal sewer connection is not available, please provide documentation from Johnston County Department of Environmental health that the location of septic tank and drain field is acceptable. |
| ✓ | | | Provide preliminary wastewater allocation calculation. |
| | | ✓ | Identify proposed grease traps. |
| | | ✓ | Identify backflow prevention. |
| | | ✓ | If a pool is present, show how it will connect to storm water. |
| ✓ | | | Identify the Utility Plan. |
| ✓ | | | Identify soil erosion control measures including impoundment structures. |
| ✓ | | | Indicate method of slope stabilization measures for all slopes steeper than 2.5:1. |
| ✓ | | | Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations. |

Fire Rescue (information to be shown on conceptual engineering plans)

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| | | ✓ | Identify fire hydrant distribution (distance of hose lay). |
| | | ✓ | Identify the sprinkler connection locations and size. |
| ✓ | | | Identify fire lane designations and circulation around buildings (stripe fire lanes and show minimum stabilized access around all structures). |
| ✓ | | | Identify the emergency evacuation route (access in and out of the property). |
| ✓ | | | Identify fire apparatus turning radius. |
| ✓ | | | Verify the location of fire hydrants is not interfering with required landscaping (must be 24" clearance of landscaping from bottom of steam fitting). |
| | | ✓ | Identify the Lock Box/Knox Box locations. |
| | | ✓ | Identify placard locations for hazardous materials. |

LANDSCAPE PLAN

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| ✓ | | | Provide a landscape plan identifying the location of all proposed landscaping (must be prepared by a landscape architect registered in North Carolina). |
| ✓ | | | Indicate the location, width and type of all required buffers. |
| ✓ | | | Indicate the location, width and type of landscaping within vehicular use areas. |
| ✓ | | | Indicate the location, width and type of landscaping used to screen drive-thru areas, service areas, loading areas, mechanical equipment and above ground utilities. |
| ✓ | | | Provide a plant list summary table which includes: <ol style="list-style-type: none"> 1. A planting key identifying the various planting elements 2. The quantity of each type of plant material proposed 3. The size, height, caliper and spacing of plant material proposed 4. The Botanical and common names of plant material proposed |
| ✓ | | | Verify/identify clear sight distances at project ingress/egress points. |
| ✓ | | | Provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant species must be used). |
| ✓ | | | Provide a landscape maintenance note which states: "All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion". |
| | | ✓ | Identify and list any existing plant material which will be used to satisfy landscape requirements. |

LIGHTING PLAN

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| | | | Conceptual Lighting Plan |
| | | | Identify the light source and provide a detail of the fixture. |
| | | | Identify the proposed height of fixtures. |

ARCHITECTURAL ELEVATIONS AND FLOORPLAN

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| ✓ | | | Provide floor plans, elevations, construction materials, finishes and colors, along with type of construction of all buildings per North Carolina Building Code prepared by a professional architect registered in North Carolina. |
| ✓ | | | Indicate the height and number of stories for each structure. |
| | | ✓ | Indicate the location and screening method for all roof mounted structures or equipment. |



TOWN OF CLAYTON

Planning Department

111 E. Second Street, Clayton, NC 27520

P.O. Box 879, Clayton, NC 27528

Phone: 919-553-5002

Fax: 919-553-1720

ROAD NAME APPROVAL APPLICATION

Road name applications are for public street signs (blades) that are located within the Town limits. Once the public street names have been approved, the applicant must submit a written request to the Town of Clayton Public Works Department identifying the approved blades and their installation location(s). The Public Works Department will order and install the blades along with any required regulatory signage. The applicant will be invoiced for the total cost of the blades, one-half the cost of sign posts and one man hour of labor per sign post.

SITE INFORMATION

Name of Project: The Village at Parkview Ph 9-16 Acreage of Property: 3.85 ACS
Tax ID #: 05H02199C & 05H02198 NC PIN: 166909-06-1495 & 166909-06-1265
Deed Book: 5130 / 3003 Deed Page(s): 112 / 637
Location: 352 City Road. Clayton, NC 27520
Nearest Intersecting Roads: City Road
Township: Clayton

PROPERTY OWNER INFORMATION

Name: Sam's Branch Development
Mailing Address: 114 W. Main Street, Clayton, NC 27520
Phone Number: 919-422-6815 Fax: N/A
Email Address: reid@one27homes.com

APPLICANT INFORMATION

Applicant: Adams & Hodge Engineering, PC
Mailing Address: 314 E. Main Street, Clayton, NC 27520
Phone Number: 919-783-7278 Fax: N/A
Contact Person: Donnie Adams
Email Address: _____

FOR OFFICE USE ONLY

Date Received: _____ Amount Paid: _____ File Number: _____

ROAD NAME GUIDELINES SUPPLEMENTAL INFORMATION

The following guidelines must be followed. Please note that the Town of Clayton reserves the right to not approve any street name that is deemed inappropriate or fails to meet the guidelines.

- No street names duplicate or sound similar to existing road names.
- None of the streets are names after individuals.
- Street names have been limited to 14 characters or less.
- No compass directions are included in the street names (north, south, east, west).
- Punctuation marks are not used in the street names (e.g. periods, hyphens, apostrophes, etc.).
- Double suffixes have been avoided (e.g. Deer Path Lane).
- All names have acceptable suffixes (e.g. Street, Drive, Court, Lane, etc.). *Please see the Town of Clayton's approved list of suffixes (attached).*
- Names that are difficult to pronounce have been avoided.

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

Please submit twice as many road names as needed with highest priority names listed first, written exactly as they should appear on the sign. The Town of Clayton Planning Department will coordinate with the Johnston County Planning Department for joint approval of street names. The Town of Clayton Planning Department will provide the applicant the final approval of street names. Approved street names are reserved for one year.

| Road Name | Suffix |
|--------------------|-------------|
| <i>Ex.: Willow</i> | <i>Lane</i> |
| 1. Legend Park | Drive |
| 2. Schenley | Drive |
| 3. Encanto | Drive |
| 4. Patterson | Place |
| 5. Prospect | Lane |
| 6. | |
| 7. | |
| 8. | |
| 9. | |
| 10. | |

| Road Name | Suffix |
|-----------|--------|
| 11. | |
| 12. | |
| 13. | |
| 14. | |
| 15. | |
| 16. | |
| 17. | |
| 18. | |
| 19. | |
| 20. | |
| 21. | |

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town of Clayton Planning Department for street names. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Arms & Haddock
Print Name

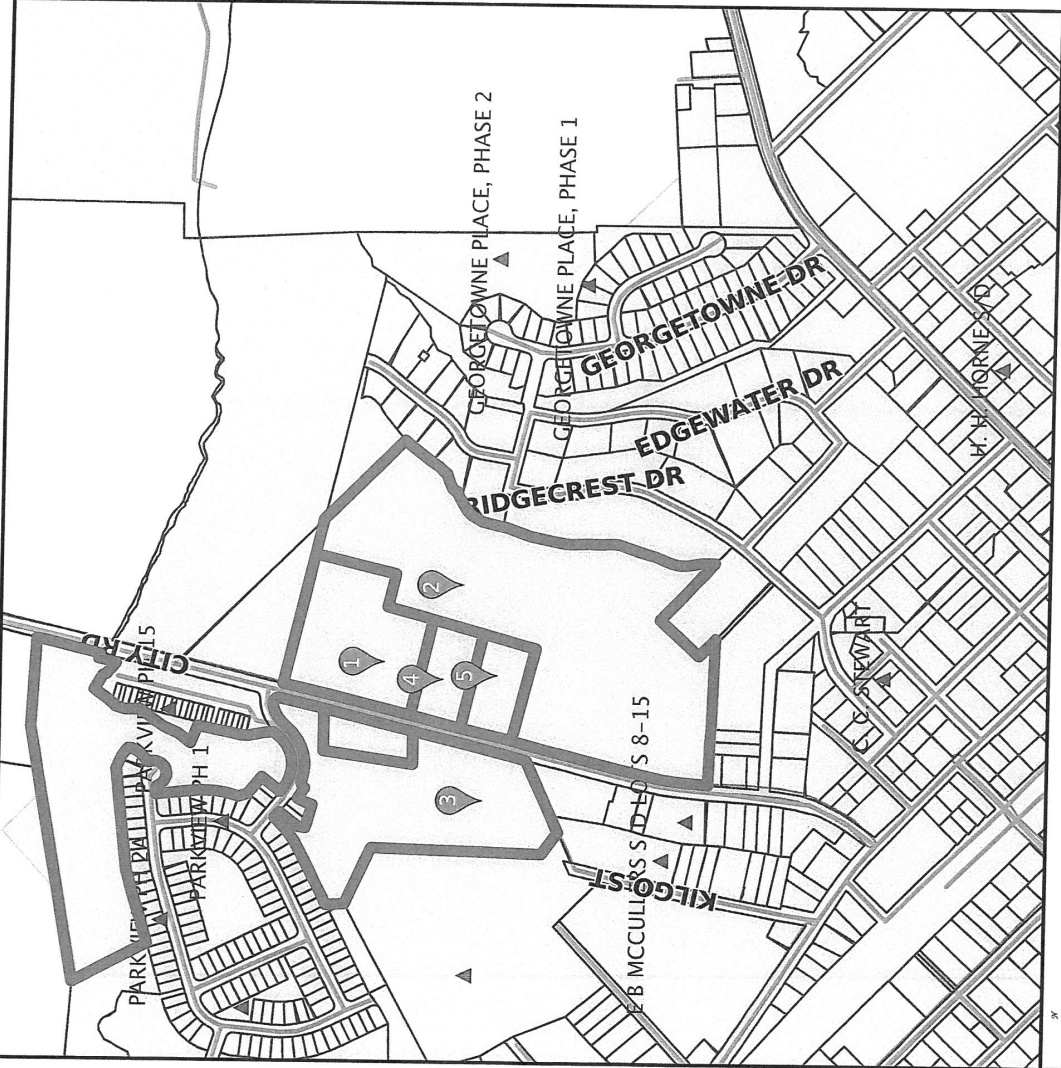
[Signature]
Signature of Applicant

6/29/2018
Date



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 05H02020
 Tag: 05H02020
 NCPin: 166909-06-4838
 Mapsheet No: 166909
 Owner Name 1: SAM'S BRANCH, LLC
 Owner Name 2:
 Mail Address 1: 114 W MAIN ST STE 102
 Mail Address 2:
 Mail Address 3: CLAYTON, NC 27520-2397
 Site Address 1:
 Site Address 2:
 Book: 05111
 Page: 0199
 Market Value: 66680
 Assessed Acreage: 7
 Calc. Acreage: 6.98
 Sales Price: 3000
 Sale Date: 2018-03-06



Scale: 1:7876 - 1 in. = 656.32 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 2

id: 05029021
Tag: 05029021
NCPin: 166909-06-6358
Mapsheet No: 166909
Owner Name 1: GORDON, HARVEY B
Owner Name 2: GORDON, MILDRED S
Mail Address 1: 133 PLANTATION CIR S
Mail Address 2:
Mail Address 3: PONTE VEDRA BEACH, FL
32082-0000
Site Address 1:
Site Address 2:
Book:
Page:
Market Value: 119210
Assessed Acreage: 22.43
Calc. Acreage: 22.429
Sales Price: 0
Sale Date:

Result 3

id: 05030069
Tag: 05030069
NCPin: 165908-97-7935
Mapsheet No: 165908
Owner Name 1: CITY ROAD LLC
Owner Name 2:
Mail Address 1: 114 W MAIN ST STE 102
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-2321
Site Address 1:
Site Address 2:
Book: 04557
Page: 0814
Market Value: 112350
Assessed Acreage: 22.35
Calc. Acreage: 22.4
Sales Price: 425000
Sale Date: 2015-02-13

Result 4

id: 05H02199C
Tag: 05H02199C
NCPin: 166909-06-1495
Mapsheet No: 166909
Owner Name 1: SAM'S BRANCH, LLC
Owner Name 2:
Mail Address 1: 114 W MAIN ST STE 102
Mail Address 2:
Mail Address 3: CLAYTON, NC 27520-2397
Site Address 1: 352 CITY RD
Site Address 2: CLAYTON, NC 27520-
Book: 05130
Page: 0112
Market Value: 94030
Assessed Acreage: 1.85
Calc. Acreage: 1.848
Sales Price: 152500
Sale Date: 2018-04-10

Result 5

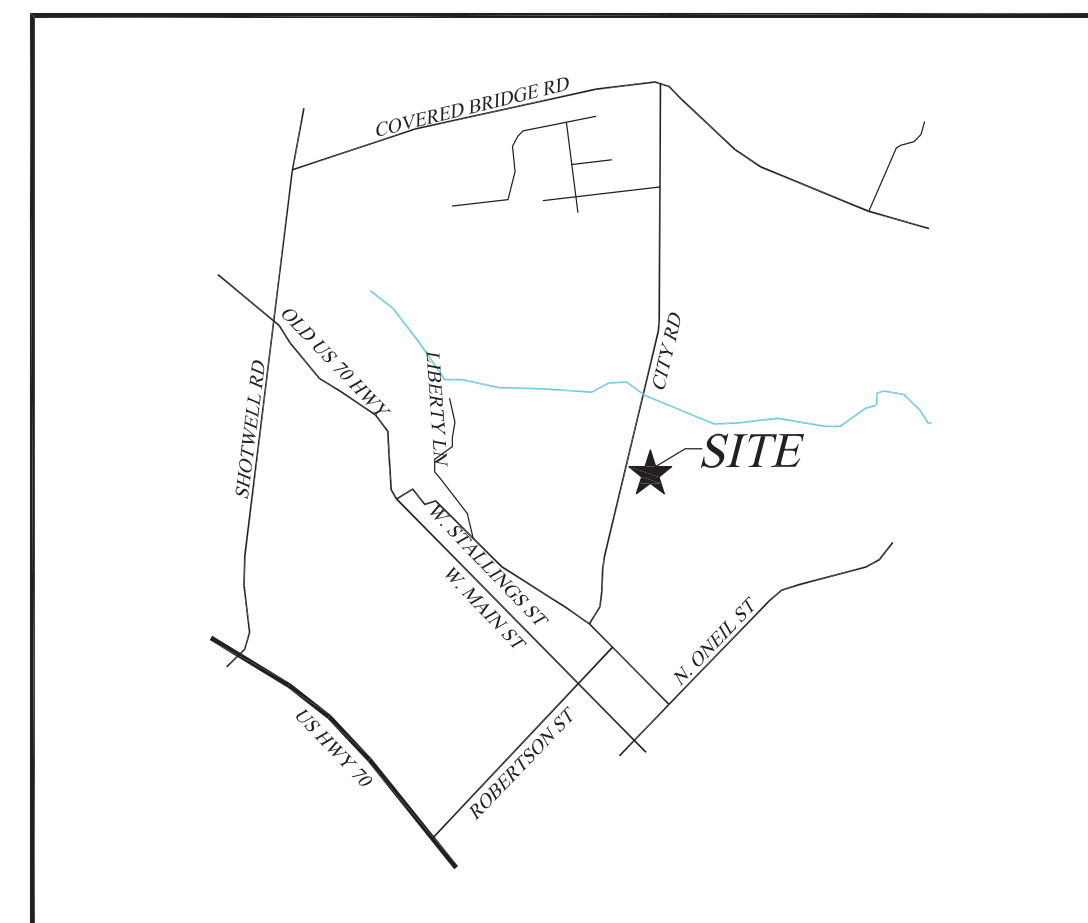
id: 05H02198
Tag: 05H02198
NCPin: 166909-06-1265
Mapsheet No: 166909
Owner Name 1: DELILA R B THOMPSON
LIVING TRUST
Owner Name 2:
Mail Address 1: 8013 OLD STAGE ROAD
Mail Address 2:
Mail Address 3: RALEIGH, NC 27603-0000
Site Address 1: 300 CITY RD
Site Address 2: CLAYTON, NC 27520-
Book: 03003
Page: 0637
Market Value: 90710
Assessed Acreage: 1.99
Calc. Acreage: 1.855
Sales Price: 0
Sale Date: 2005-10-26

MAJOR SUBDIVISION PLAN

THE VILLAGE at PARKVIEW

PHASES 9-16

IN
TOWN OF CLAYTON



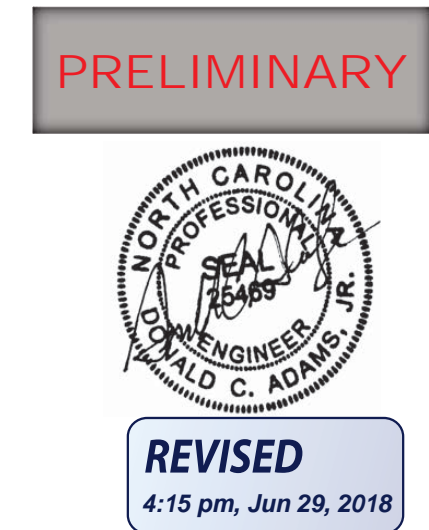
SITE VICINITY MAP
NOT TO SCALE

DEVELOPER/APPLICANT:
 SAM'S BRANCH DEVELOPMENT
 114 W. MAIN ST
 CLAYTON, NC 27520
 CONTACT/AGENT: DONNIE C. ADAMS, PE
 919 763-7278



SHEET INDEX

| SHEET TITLE | SHEET No. |
|---------------------------|-----------|
| SEALED BOUNDARY..... | BM1 |
| EXISTING CONDITIONS..... | SP01 |
| SITE PLAN..... | SP02 |
| PHASE PLAN..... | SP03 |
| LANDSCAPE PLAN..... | SP04 |
| UTILITY PLAN..... | SP05 |
| GRADING PLAN..... | SP06 |
| REGULATORY STANDARDS..... | SP07 |

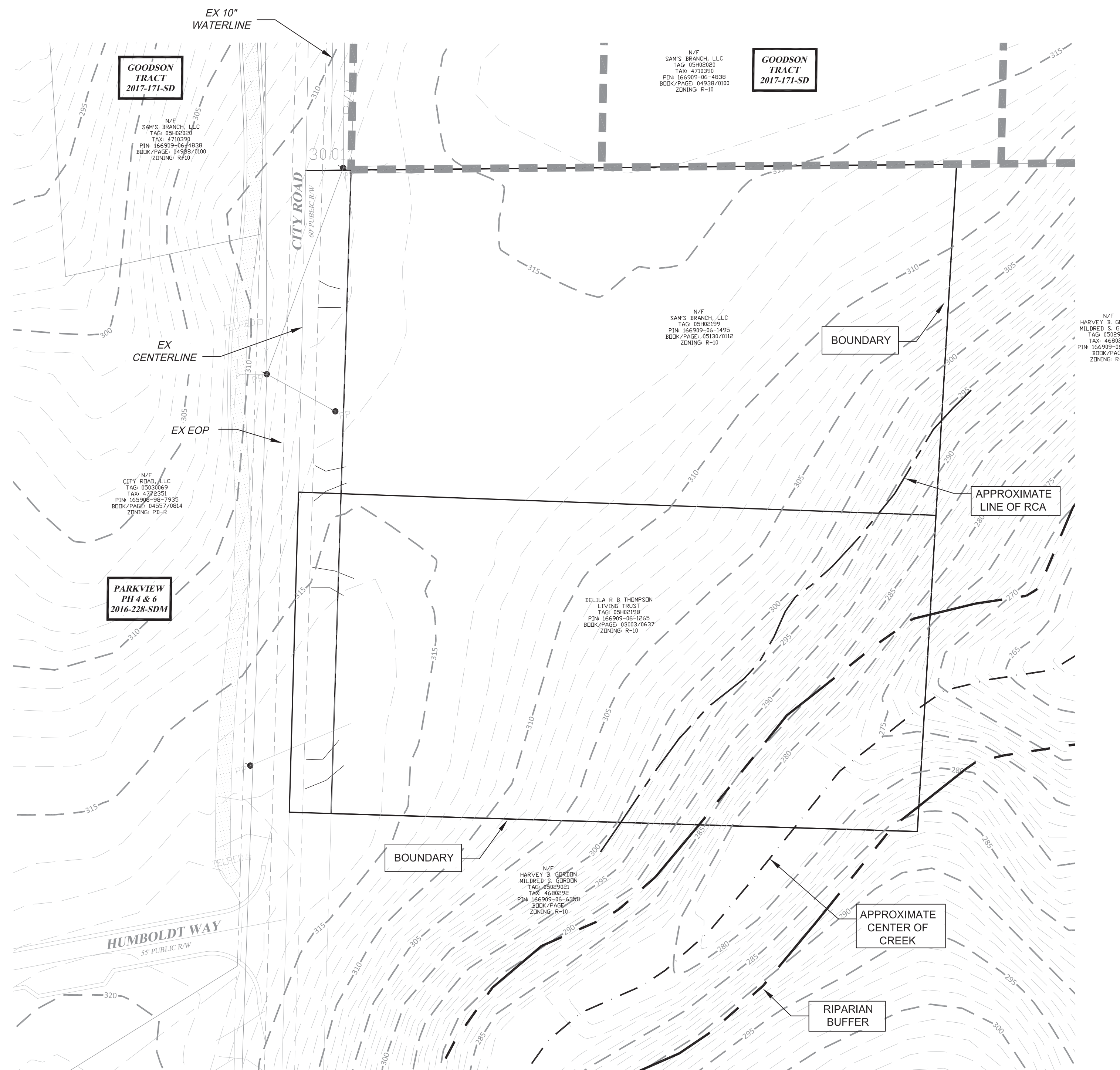


335 ATHLETIC CLUB BLVD
 CLAYTON, NC 27527
 919-243-1332 donnie@adamsandhodge.com
 FIRM # C-1197


The Village at Parkview
 Phases 9-16
 TOWN OF CLAYTON, JOHNSTON COUNTY NC

JULY 2, 2018

THE VILLAGE AT PARKVIEW MAJOR SUBDIVISION

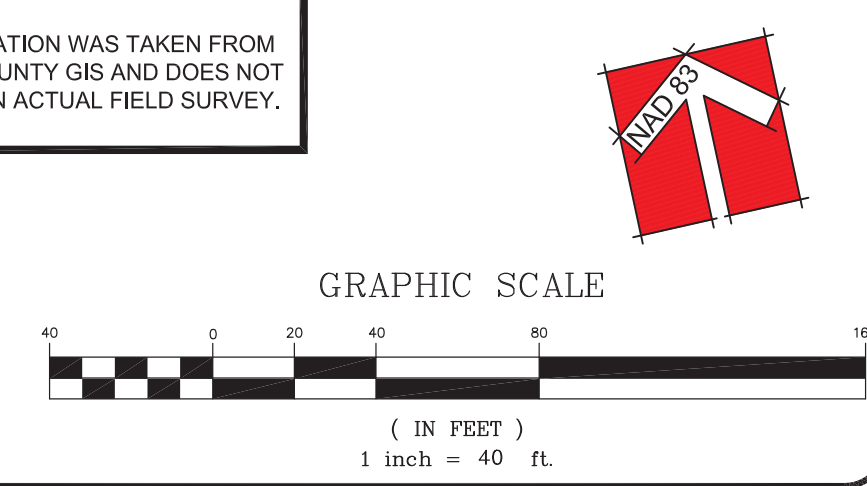


PRELIMINARY



REVISED
3:46 pm, Jun 29, 2018

NOTE:
TOPO INFORMATION WAS TAKEN FROM
JOHNSTON COUNTY GIS AND DOES NOT
REPRESENT AN ACTUAL FIELD SURVEY.



314 East Main Street
Clayton, NC 27520
dommie@adamsandhodge.com
919-434-1312
FIRM # C-4193



The Village @ Parkview
Phases 9-16
TOWN OF CLAYTON, NC 27520

EXISTING
CONDITIONS

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 07/02/2018
JOB NO: 44-
SHEET: SP01



DEVELOPER/APPLICANT:
SAM'S BRANCH DEVELOPMENT
 114 W. MAIN ST
 CLAYTON, NC 27520
 CONTACT/AGENT: DONNIE C. ADAMS, PE
 919 763-7278

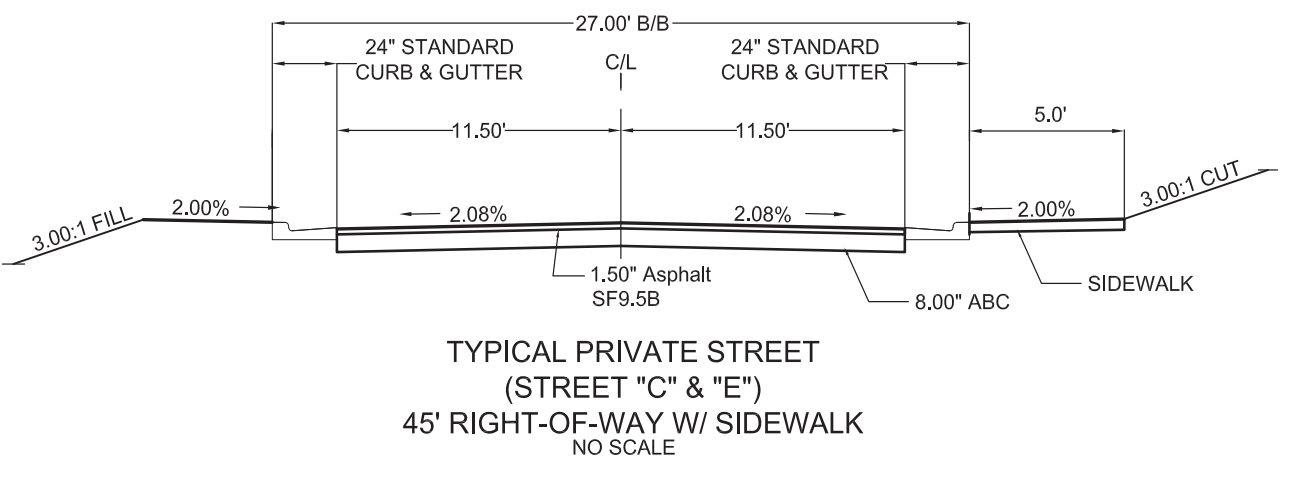
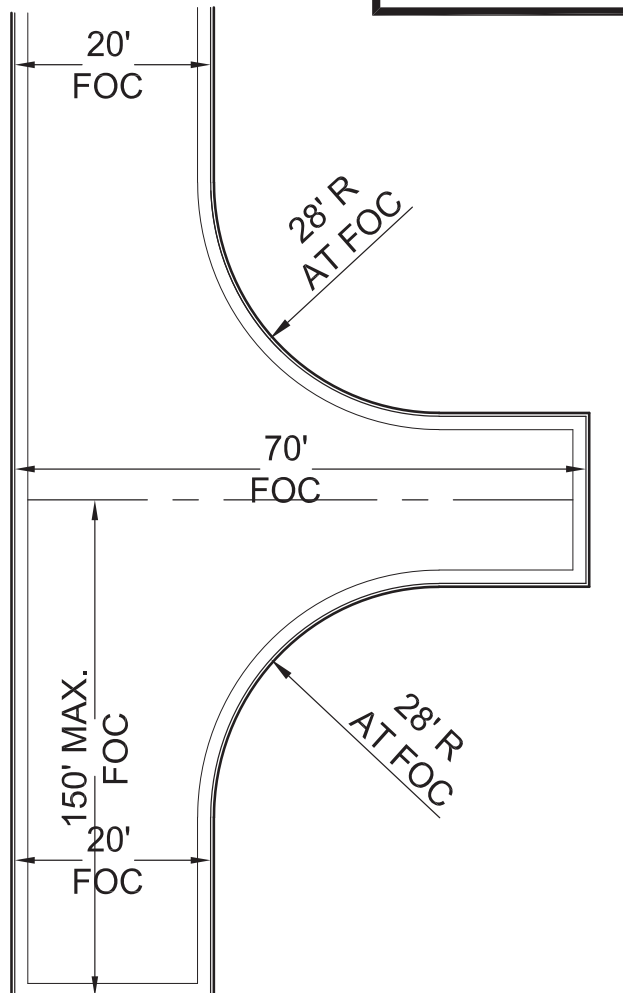
VICINITY MAP
(NO SCALE)

| SITE DATA CHART | | |
|---|---|-------------------------------------|
| PARCEL OWNER | SAM'S BRANCH, LLC | DEULA R B THOMPSON LIVING TRUST |
| PARCEL OWNER ADDRESS | 114 W. MAIN ST, SUITE 102 CLAYTON, NC 27520 | 8013 OLD STAGE RD RALEIGH, NC 27603 |
| PARCEL IDENTIFICATION | 166909-06-1495 | 166909-06-1265 |
| PROPERTY SIZE (SF) TOTAL | TOTAL = 167,767 SF/3.85 ACS | |
| PROPERTY LOCATION | TOWN OF CLAYTON/CLAYTON TOWNSHIP | |
| EXISTING/PROPOSED ZONING | R-10/R-10 | |
| EXISTING USE | VACANT | |
| PROPOSED USE | SINGLE FAMILY TOWNHOME UNITS | |
| PROPOSED INTENSITY (GROSS FLOOR AREA IN SF) | 40,053 SF / 0.92 ACS (1027 SF/UNIT) | |
| PROPOSED NUMBER OF LOTS | 39 LOTS | |
| PROPOSED DENSITY | 39 UNITS/3.85 ACS = 10.13 UNITS/AC | |
| MINIMUM LOT SIZE | 1250 SF/ 0.03 AC | |
| MAX. LOT COVERAGE (AS % OF TOTAL SITE) | 30% | |
| PERVIOUS AREA (SF & AS % OF TOTAL SITE) | 53% | |
| MAX. IMPERVIOUS AREA PER LOT | 60% | |
| PROPOSED IMPERVIOUS AREA PER LOT | 75% | |
| MAX LOT COVERAGE PER LOT | 50% | |
| AREA OF RCA | 21,920.86 SF/50 | |
| BUILDING HEIGHT (NUMBER OF STORIES & FEET) | 2 STORIES/ 35' | |
| ELECTRIC PROVIDER | TOWN OF CLAYTON | |
| WATER PROVIDER | TOWN OF CLAYTON | |
| SEWER PROVIDER | TOWN OF CLAYTON | |
| BUILDING SEPARATION | 20' | |
| REQUIRED FRONT BUILDING SETBACKS | 12' | |
| REQUIRED SIDE BUILDING SETBACKS | 5' | |
| REQUIRED INTERIOR SIDE SETBACKS | ZERO LOT LINE | |
| REQUIRED SIDE STREET BUILDING SETBACKS | 5' | |
| REQUIRED REAR SETBACKS | 10' | |

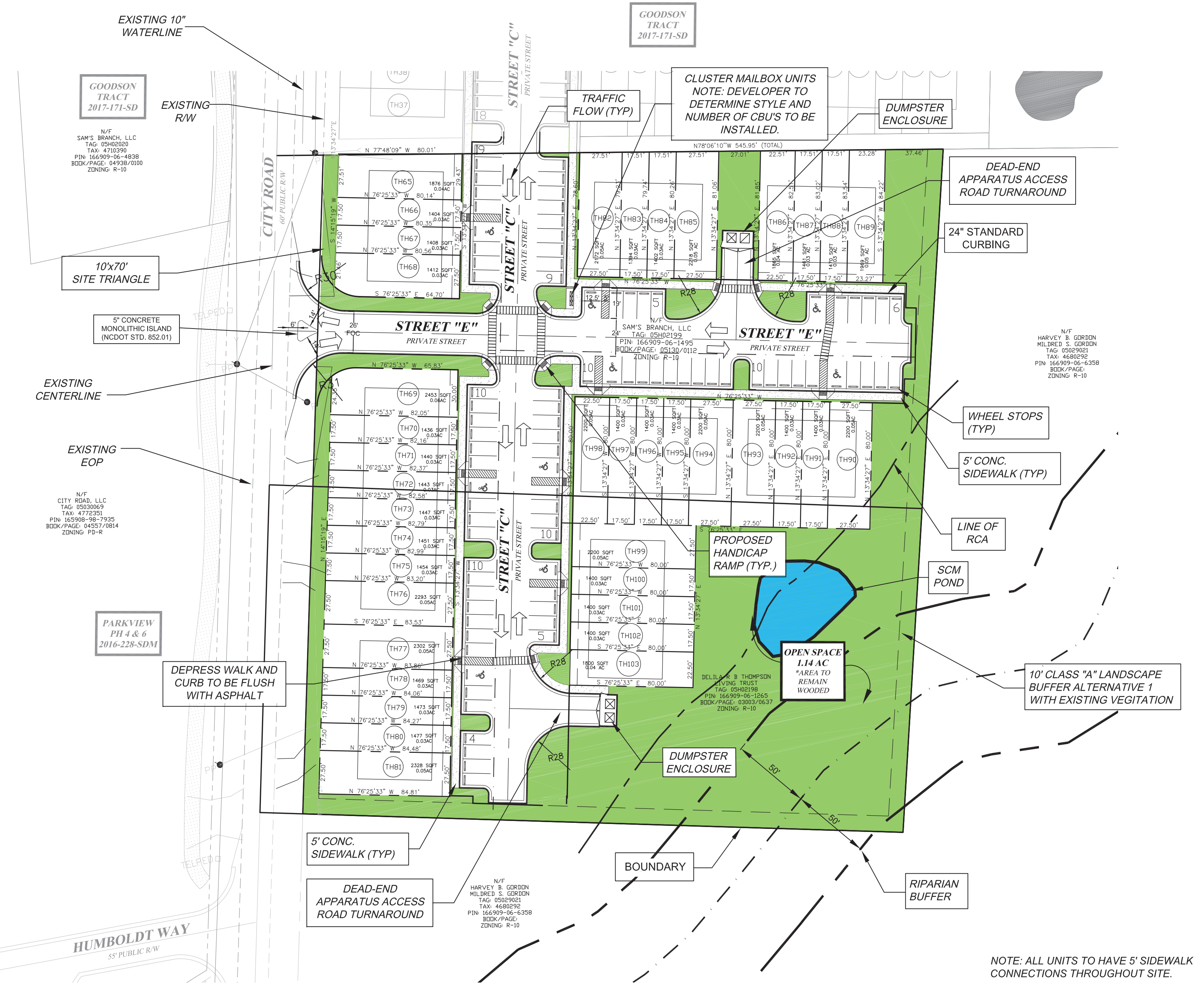
*THE DEVELOPER WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED TREES WITHIN AND LAND USE BUFFER.
 *NO FLOOD PLAIN EXISTS AS PER FEMA FIRM PANEL 3720166900J & 3720166900J DATE 12/02/2015.
 *REQUIRED LANDSCAPE BUFFERS TO BE MAINTAINED BY HOA.
 *PROPOSED OPEN SPACE TO BE DEDICATED TO HOA.

REQUIRED PARKING CALCULATIONS:

| |
|---|
| 39 2BDRM UNITS x 2 SPACES/UNIT = 78 SPACES |
| 4 UNITS/1 GUEST SPACE = 10 SPACES |
| 78 SPACES + 10 SPACES = 88 TOTAL SPACES REQUIRED |
| 1 ADA SPACE/25 SPACES FOR ADA |
| 88 SPACES/25 SPACES = 3.52 ADA SPACES (4 ADA SPACES REQUIRED) |
| 88 SPACES PROPOSED (INCLUDING 9 ADA SPACES) |



DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND
ACCEPTABLE ALTERNATIVE TP 120' HAMMERHEAD

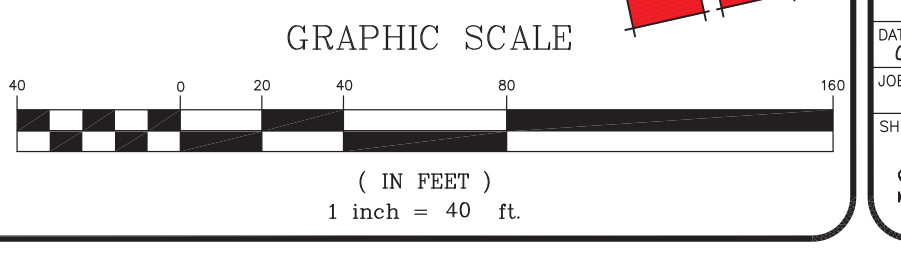


NOTE: ALL UNITS TO HAVE 5' SIDEWALK CONNECTIONS THROUGHOUT SITE.

PRELIMINARY



REVISED
3:50 pm, Jun 29, 2018



314 East Main Street
Clayton, NC 27520
donnie@adamsandhodge.com
919-243-1332
FAX: 919-243-1337

ADAMS & HODGE
ENGINEERING, PC

The Village @ Parkview
Phases 9-16
TOWN OF CLAYTON, NC 27560

PRELIMINARY
SITE PLAN

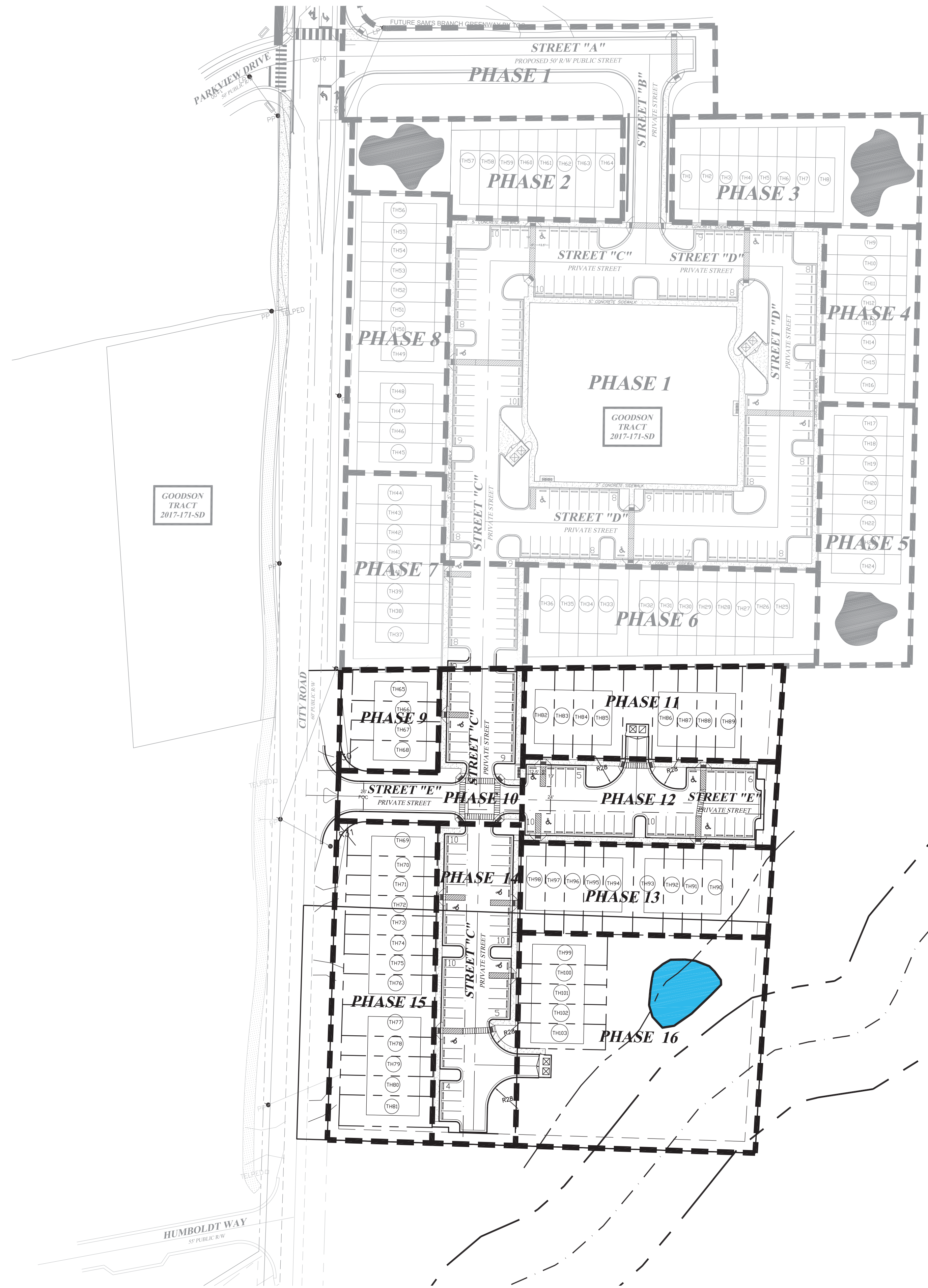
DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 07/02/2018
JOB NO: 44-
SHEET

SP02

DEVELOPER/APPLICANT:

SAM'S BRANCH DEVELOPMENT
114 W. MAIN ST
CLAYTON, NC 27520

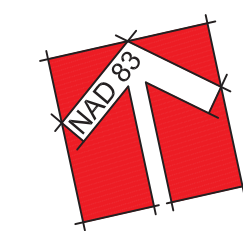
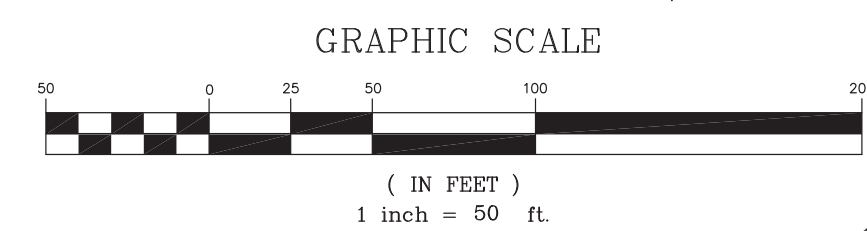
CONTACT/AGENT: DONNIE C. ADAMS, PE
919 763-7278



PRELIMINARY



REVISED
3:51 pm, Jun 29, 2018



314 East Main Street
Clayton, NC 27520
adamsc@adamsandhodge.com
www.adamsandhodge.com
FIRM # C-4187



The Village @ Parkview
Phases 9-16
TOWN OF CLAYTON, NC 27520

PHASE PLAN

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 07/02/2018
JOB NO.: N/A
SHEET: SP03

Plant List

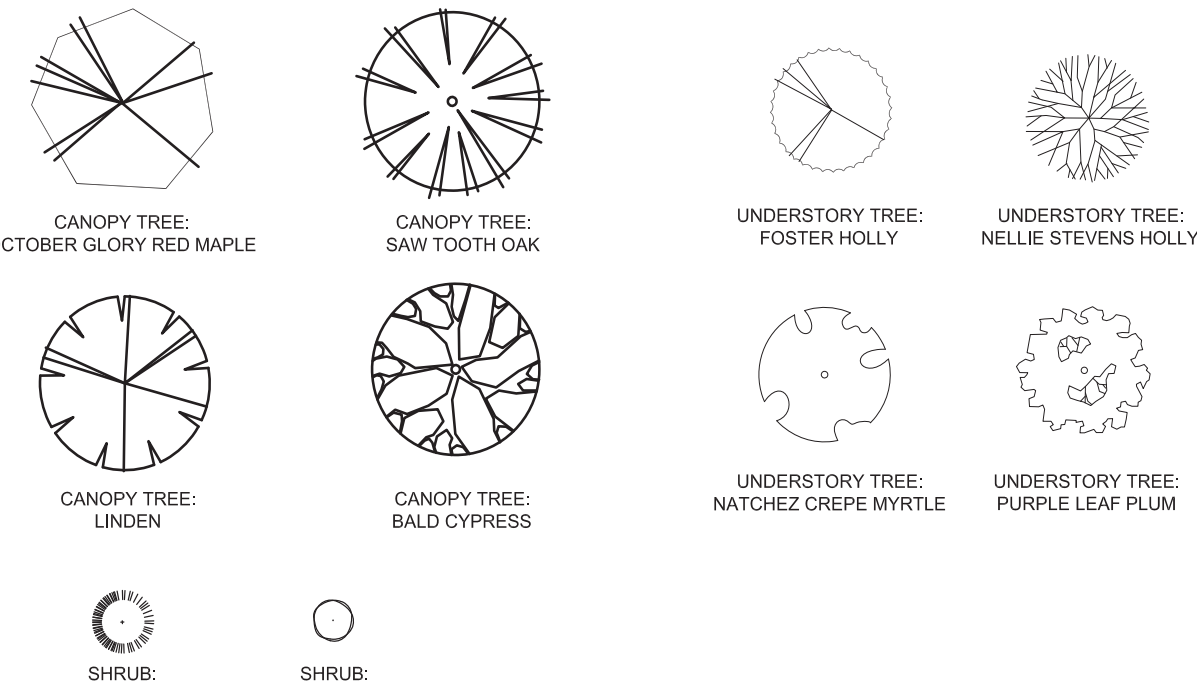
PLANT LIST

| ALIAS | QTY. | BOTANICAL NAME | COMMON NAME | CALIPER | HEIGHT | WIDTH | ROOT |
|-------|------|--|-------------------------|---------|--------------|-------|------------|
| AORG | 13 | ACER RUBRUM 'OCTOBER GLORY' | OCTOBER GLORY RED MAPLE | 2.5" | 10'-12' MIN. | - | B&B |
| QA | 10 | QUERCUS ACUTISSIMA | SAW TOOTH OAK | 2.5" | 10'-12' MIN. | - | B&B |
| TD | 7 | TAXODIUM DISTICHUM | BALD CYPRESS | 2.5" | 10'-12' MIN. | - | B&B |
| TCG | 9 | TILIA CORDATUM 'GREENSPIRE' | LINDEN | 2.5" | 10'-12' MIN. | - | B&B |
| IAF | 14 | ILEX ATTENUATA 'FOSTERII' | FOSTER HOLLY | 2" | 6'-8' MIN. | - | B&B/15 GAL |
| INS | 8 | ILEX 'NELLIE R. STEVENS' | NELLIE STEVENS HOLLY | 2" | 6'-8' MIN. | - | B&B/15 GAL |
| LIN | 26 | LAGERSTROEMIA INDICA 'NATCHEZ' | NATCHEZ CREPE MYRTLE | 2" | 6'-8' MIN. | - | B&B/15 GAL |
| PCP | 9 | PRUNUS CERASIFERA 'PURPLE PONY' | PURPLE LEAF PLUM | 2" | 6'-8' MIN. | - | B&B/15 GAL |
| CJ | 18 | CAMELLIA JAPONICA | CAMELLIA | - | 24"-30" MIN. | - | 7GAL |
| CP | 21 | CHAMAECYPARIS PISIFERA 'GOLD MOPS' | GOLD MOPS CYPRESS | - | 24"-30" MIN. | - | 7GAL |
| IC | 12 | ILEX CORNUTA 'BURFORDII' | GLOSSY PRIVET | - | 24"-30" MIN. | - | 7GAL |
| LJ | 16 | LIGUSTRUM JAPONICA | ZHIZHOU LORPETALUM | - | 24"-30" MIN. | - | 7GAL |
| LC | 27 | LOROPETALUM CHINESE RUBRUM 'ZHIZHOU' | ZHIZHOU LORPETALUM | - | 24"-30" MIN. | - | 7GAL |
| BT | 26 | BERBERIS THUMBERGIATRIPURPUREA 'CRIMSON PIGMY' | BAR BERRY | - | 15'-18" MIN. | - | 3GAL |

- ALL PLANTS AND INSTALLATION SHALL BE IN ACCORDANCE WITH TOWN OF CLAYTON RULES, REGULATIONS AND REQUIREMENTS AND, AT THE LEAST, MEET THE TOWN'S MINIMUM REQUIREMENTS FOR CODE COMPLIANCY.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUANTITIES AND IS TO NOTIFY THE CONTRACTOR ASAP OF ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE PLAN.
- THE LANDSCAPE CONTRACTOR SHALL ADJUST ANY BUFFER PLANTING AS NEEDED TO MAINTAIN REQUIRED CLEARANCES AROUND TRANSFORMERS, GENERATORS AND OTHER UTILITIES THAT REQUIRE CLEARANCES FOR ACCESS.

- NOTES:**
- ALL ROOF, GROUND, AND WALL MOUNTED MECHANICAL EQUIPMENT SHALL BE COMPLETELY SCREENED FROM VIEW. 155-402(G)(2).
 - THE DUMPSTER ENCLOSURE SHALL MATCH THE MATERIALS OF THE PRIMARY STRUCTURE. 155.(G)(2) SEE DETAIL ON SHEET SPO9.
 - ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATICALLY OPERATED IRRIGATION SYSTEM THAT WILL ADEQUATELY COVER ALL LIVING PLANT MATERIAL. SUCH SYSTEM SHALL INCLUDE A RAIN SENSOR. (IF IRRIGATION WILL NOT BE UTILIZED, DROUGHT-TOLERANT SPECIES MUST BE USED).
 - ALL LANDSCAPED AREA SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION. DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED IN A TIMELY FASHION.

Plant Symbol Key



Landscape Data

LANDSCAPE REQUIREMENTS

- STREET TREE PLANTINGS REQUIRED: (2) AT 40' O.C. [4 PROVIDED]*
 PARKING LOT TREES REQUIRED: (15) [15 PROVIDED]
 BUFFER PROVIDED: PROPERTY LINES (750 L.F. OF BUFFER)
 BUFFER TYPE: CLASS "A" ALTERNATIVE 3 (10' WIDE)
 REQUIRED PLANTINGS PER 100 LIN. FT. OF "A" BUFFER:
 (2) CANOPY TREES [14 TOTAL] /15 PROVIDED
 (2) UNDERSTORY TREE [14 TOTAL] /22 PROVIDED
 (12) SHRUBS [90 TOTAL] /91 PROVIDED

LANDSCAPE CALCULATION*

| TOTAL AREA OF LOT: | 167,767 SQ.FT. | PLANT TYPE | REQUIRED** | PROPOSED |
|--------------------------|-------------------|-----------------|------------|----------|
| ZON. OF LOT AREA: | 33,553.40 SQ.FT. | CANOPY TREE | 34 | 34 |
| REQUIRED LANDSCAPE AREA: | 33,553.40 SQ.FT. | UNDERSTORY TREE | 34 | 34 |
| PROPOSED LANDSCAPE AREA: | 167,000 SQ.FT.*** | SHRUBS | 67 | 67 |

- * AS PER SECTION 155 402 (b) OF THE UNIFIED DEVELOPMENT CODE
- ** PER 1,000 SQ.FT. OF REQUIRED LANDSCAPE AREA
- *** INCLUDES THE OPEN SPACE FOR THIS PROJECT

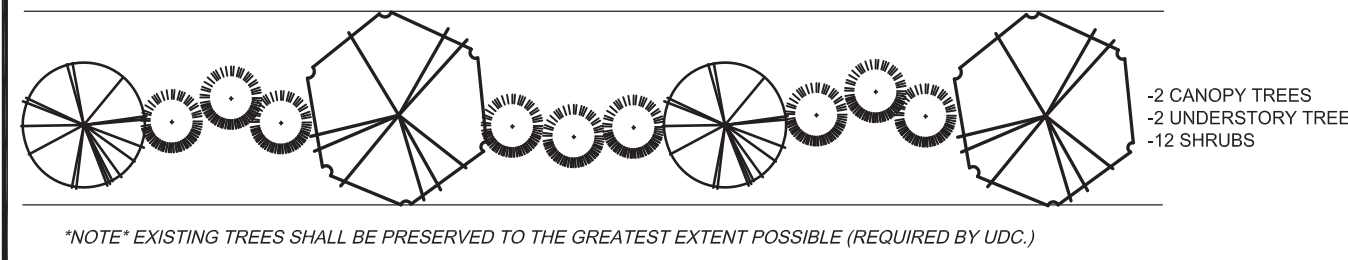
STREET YARD TREES

- STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE FOR EVERY 40 LINEAR FT. (SPACE A MAXIMUM OF 50 FT. APART).
- ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AT TIME OF PLANTING AND SHALL BE PLANTED IN THE TREE STRIP NO LESS THAN FIVE FT. OR MORE THAN 15 FT. FROM THE BACK OF THE SIDEWALK.

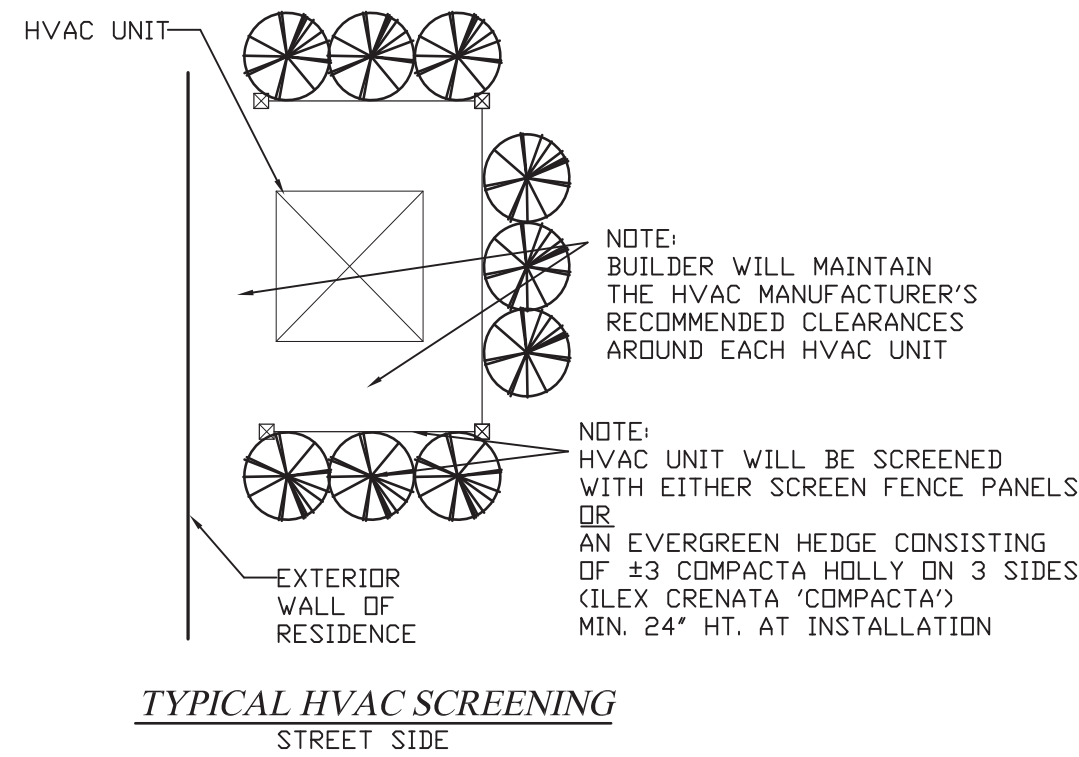
- *REQUIRED LANDSCAPE BUFFERS TO BE MAINTAINED BY HOA.
- **PROPOSED OPEN SPACE TO BE DEDICATED TO HOA.
- ***ALL INTERIOR LANDSCAPE ISLANDS SHALL CONTAIN A MINIMUM OF ONE TREE W/ MINIMUM CALIPER OF 2.5".

CLASS A BUFFER DETAIL

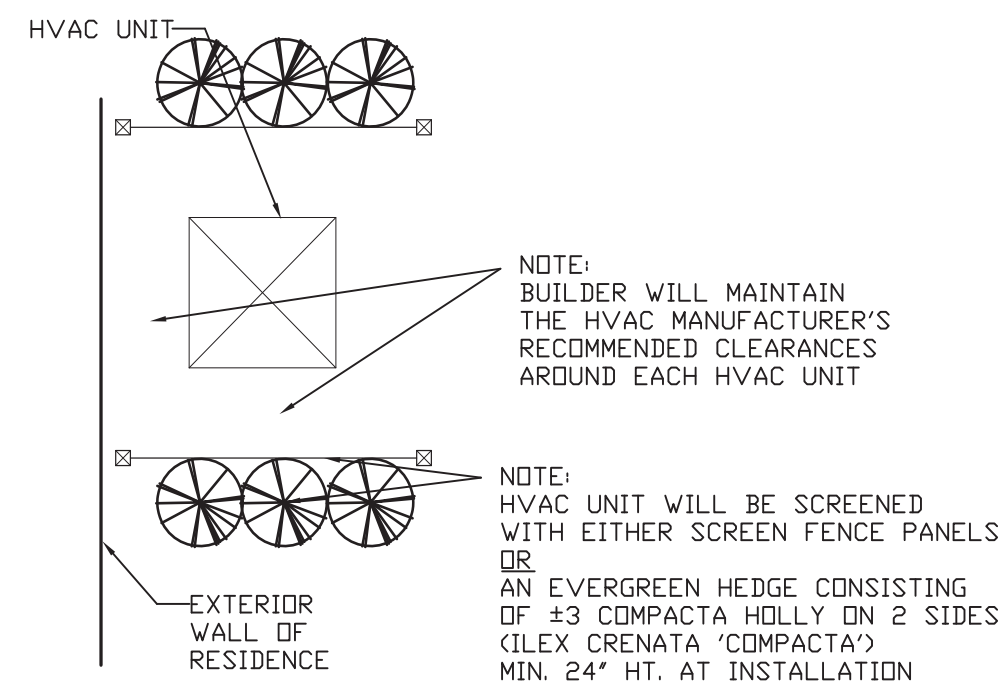
(PLANTS PER 100 LF) ALTERNATE 1, 10' WIDE BUFFER
 NOTE: PLANT LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY - ACTUALLY LAYOUT MAY VARY



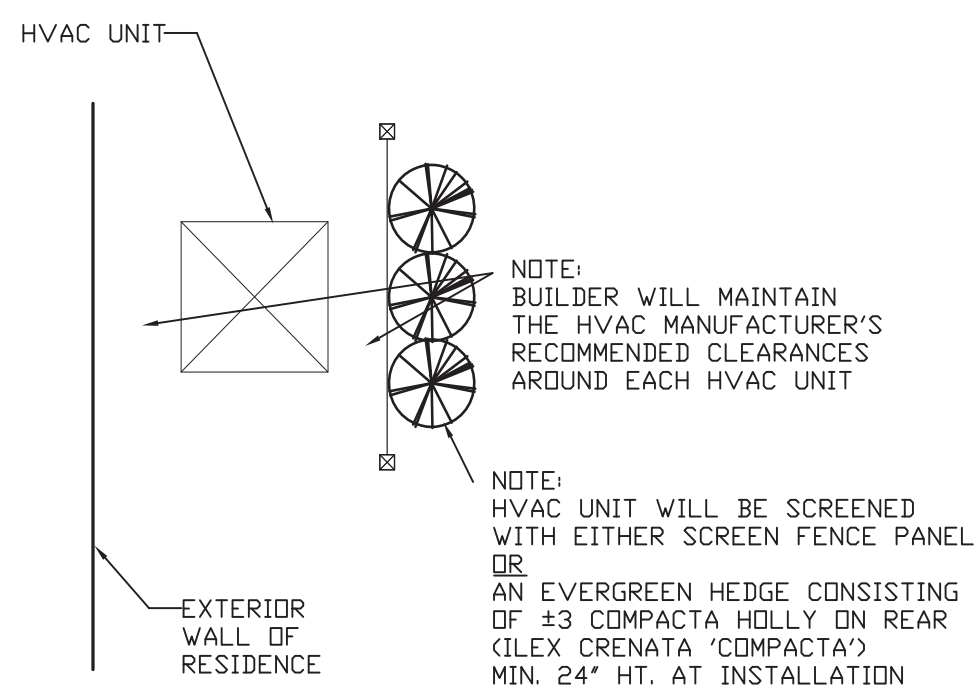
*NOTE: EXISTING TREES SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE (REQUIRED BY UDC.)



TYPICAL HVAC SCREENING STREET SIDE



TYPICAL HVAC SCREENING BUILDING SIDE



TYPICAL HVAC SCREENING BUILDING REAR



311 East Main Street
 Class NC 27520
 dominic@adamsandhodge.com
 919-293-4313
 FIRM # C-181

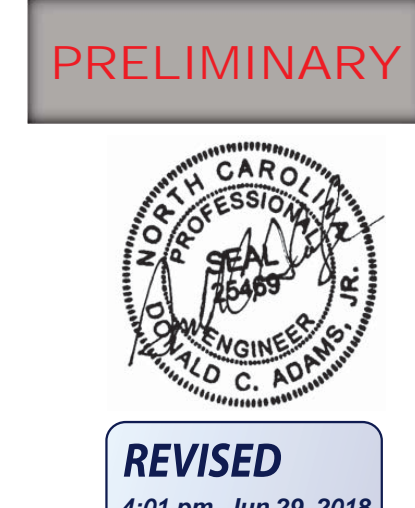
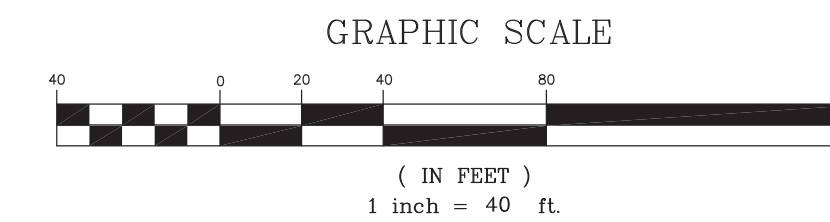
ADAMS & HODGE
 ENGINEERING, PC



The Village @ Parkview
 Phase 9-16
 TOWN OF CLAYTON, NC 27550

PRELIMINARY
 LANDSCAPE PLAN

DESIGN: DCA/ADS
 DRAWN: ADS
 CHECKED: DCA
 HORIZONTAL SCALE: SEE OWNER SCALE
 VERTICAL SCALE: N/A
 DATE: 07/02/2018
 JOB NO: SH--
 SHEET: SP04



WATER SYSTEM PROJECT SUMMARY:

1. THERE ARE 39 SINGLE FAMILY TOWNHOME LOTS SERVED BY THIS WATER SYSTEM EXTENSION.
2. THE LENGTHS AND SIZES OF WATER MAIN EXTENSIONS ARE AS FOLLOWS:
±668 LF OF 6" PVC MAIN

SEWER SYSTEM PROJECT SUMMARY:

1. THERE ARE 39 SINGLE FAMILY TOWNHOME LOTS SERVED BY THIS GRAVITY SEWER SYSTEM EXTENSION.
2. THE LENGTHS AND SIZES OF SEWER MAIN EXTENSIONS ARE AS FOLLOWS:
± 665 LF OF 8" PVC MAIN

STREET SUMMARY:

1. THE TOTAL LINEAR OF PRIVATE STREETS:
±935 LF

| LEGEND | |
|-----------------------|-----|
| PROPOSED | |
| FIRE HOSE | --- |
| WATERLINE | --- |
| BLOWOFF | ⊕ |
| HYDRANT | ⊕ |
| VALVE | ⊕ |
| REDUCER | ⊕ |
| METER | ⊕ |
| SEWERLINE | --- |
| MANHOLE | ⊕ |
| CLEANOUT | ⊕ |
| STORM DRAINAGE | --- |
| CATCH BASIN | ⊕ |
| DROP INLET/YARD INLET | ⊕ |

NOTE:

1. SEE SHEET SP06 FOR STORM WATER MANAGEMENT.
2. FIRE HYDRANTS ARE SPACED LESS THAN 500' APART. FIRE HOSE LAY WILL NOT EXCEED 500' MAX.

NOTES:

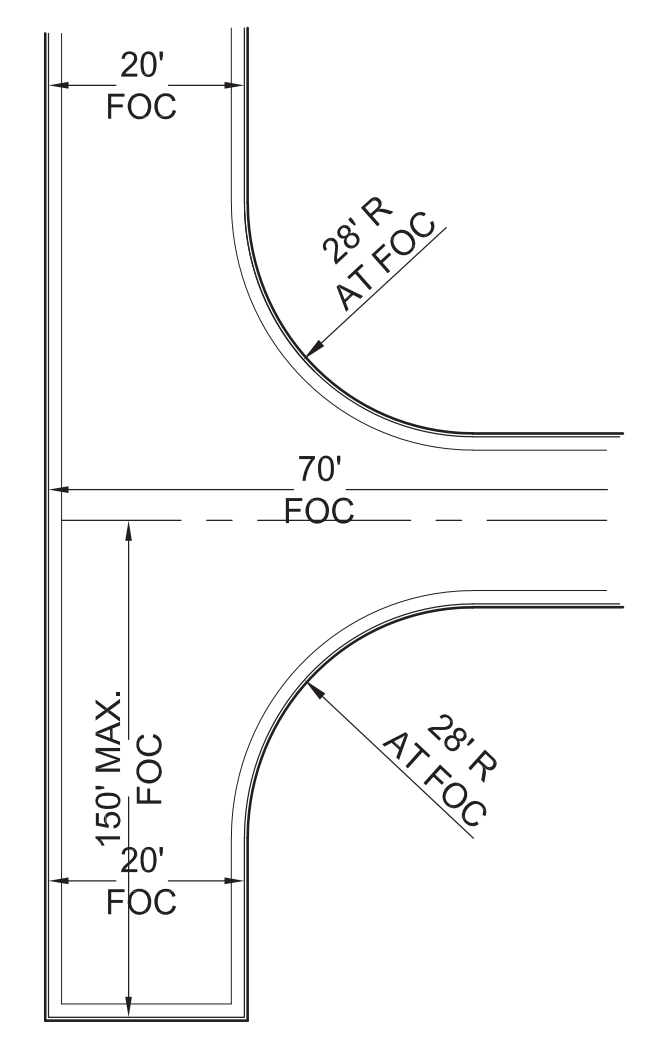
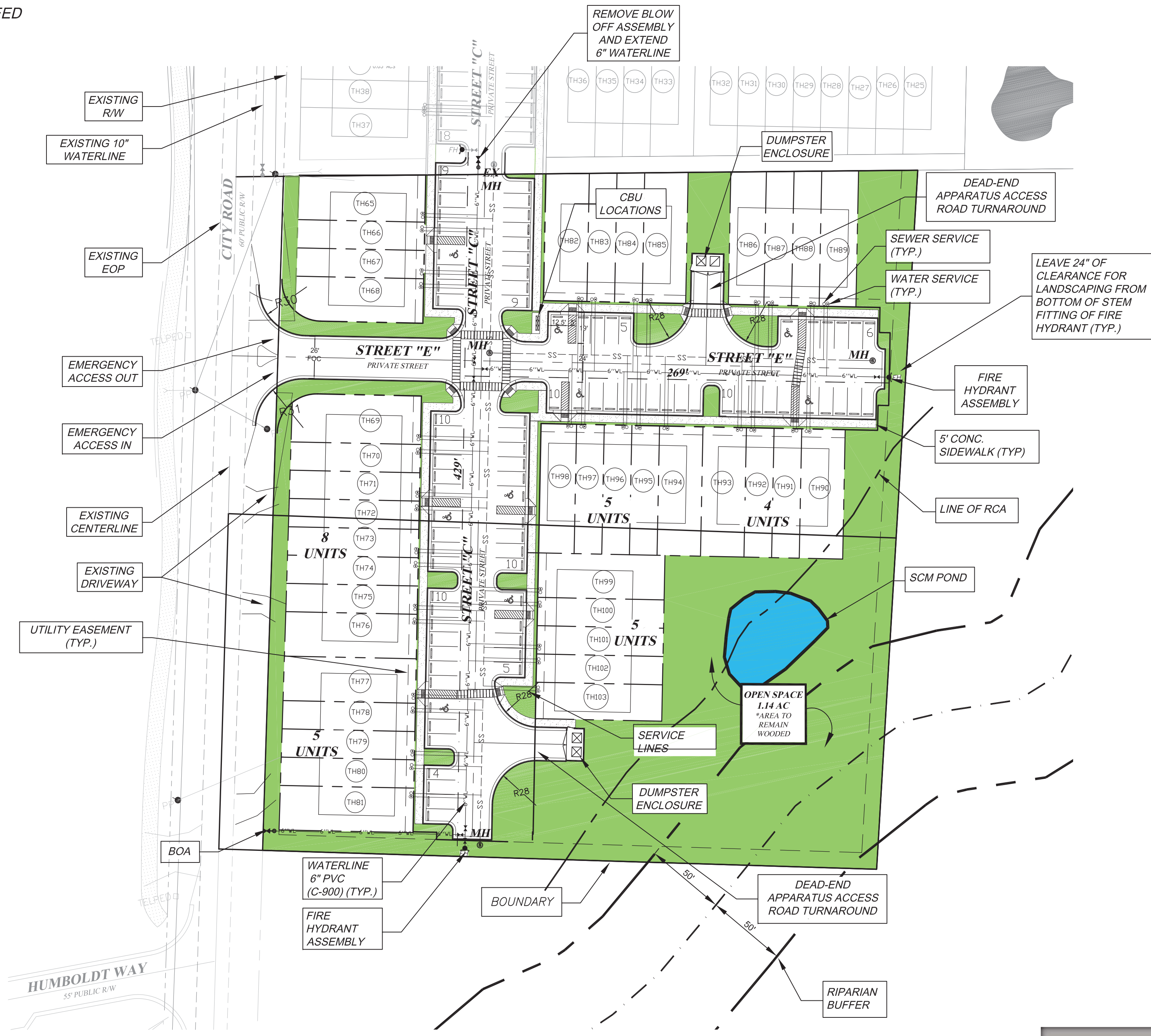
1. ALL PUBLIC WATER AND SEWER UTILITY MATERIALS AND METHODS OF INSTALLATION TO BE IN ACCORDANCE WITH TOWN OF CLAYTON STANDARDS AND SPECIFICATIONS AND MEET APPLICABLE NC PLUMBING CODES.
2. CONTRACTOR SHALL CALL NC CALL ONE AT 1-800-632-4949 TO VERIFY LOCATION OF EXISTING SERVICES BEFORE BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL REPAIR ALL AREAS DISTURBED TO THEIR ORIGINAL CONDITIONS. THIS INCLUDES ANY EXISTING UTILITY DAMAGE AND REPAIR OF ANY PAVEMENT, WALKWAYS, OR STRUCTURAL ITEMS, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, ELECTRIC, GAS, IRRIGATION, CATV, FIBER OPTIC, TELEPHONE, LANDSCAPING, PAVEMENT, SIDEWALKS AND CURB & GUTTER.
4. INTERNAL SIDEWALKS TO BE INSTALLED BY BUILDER.
5. ALL ACCESS TO OUTFALL WATER AND SEWER EASEMENTS SHALL HAVE A MAXIMUM SLOPE OF 4:1(H:V) AND A MAXIMUM CROSS SLOPE OF 4%.
6. OWNERSHIP AND MAINTENANCE FOR PERMANENT STORM WATER FACILITIES TO BE IN ACCORDANCE WITH JOHNSTON COUNTY AND TOWN OF CLAYTON REQUIREMENTS.
7. ALL 5' DIAMETER MANHOLES SHOWN IN PLANS SHALL REQUIRE AN EXTENDED BASE SECTION.
8. ALL 4" SANITARY SEWER SERVICES EQUAL TO OR GREATER THAN 12" DEEP SHALL BE 4" 401 LINED DIP.
9. ALL CONCRETE THROUGH LIMITS OF KIOSK AREA SHALL BE A MINIMUM OF 6" THICK.

THE TOWN OF CLAYTON AND/OR JOHNSTON COUNTY RESERVE THE RIGHT TO MODIFY THE EROSION AND SEDIMENTATION CONTROL PLAN IF THE EXISTING PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

NOTE:
A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR WATER, SEWER, EROSION CONTROL, GRADING AND STREET EXTENSION TO BE SUBMITTED TO AND APPROVED BY TOWN'S ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

WASTE WATER FLOW:
(39) - 2 BDRM UNITS @ 120GPD/BDRM
9,360 GPD/UNIT

PER CHANGE IN THE NORTH CAROLINA GENERAL STATUTES (NCGS 87-121(d)), UNDERGROUND UTILITIES ARE TO BE LOCATED BY ELECTRONIC MEANS. SIMILAR TO OTHER DETAILS, GRAVITY SEWER MAINS NOW REQUIRE A #12 AWG INSULATED (GREEN) SOLID COPPER WIRE TO BE PLACED WITH THE GRAVITY SEWER MAIN. IF THE SEWER MAIN DEPTH IS GREATER THAN 8 FT. FROM FINAL SURFACE ELEVATION, PLACE THE WIRE AT A DEPTH BETWEEN 7 AND 8 FT. BELOW FINAL SURFACE ELEVATION. THE TOWN IS PREPARING A DETAIL.



DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND
ACCEPTABLE ALTERNATIVE TP 120' HAMMERHEAD

PRELIMINARY

REVISED
4:05 pm, Jun 29, 2018

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

314 East Main Street
Clayton, NC 27520
dominic@adamsandhodge.com
919-243-1332
FAX: 919-243-1337

ADAMS & HODGE
ENGINEERING, P.C.



The Village @ Parkview
Phases 9-12
TOWN OF CLAYTON, NC 27560

PRELIMINARY
UTILITY PLAN

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 07/02/2018
JOB NO: 44-
SHEET:

SP05

ALL DITCHES/SWALES ARE TO BE LINED USING NAG S150 OR SOD UNLESS OTHERWISE SPECIFIED.

THE TOWN OF CLAYTON AND/OR JOHNSTON COUNTY RESERVE THE RIGHT TO MODIFY THE EROSION AND SEDIMENTATION CONTROL PLAN IF THE EXISTING PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

NOTE:
A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR WATER, SEWER, EROSION CONTROL, GRADING AND STREET EXTENSION TO BE SUBMITTED TO AND APPROVED BY TOWN'S ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

| EROSION LEGEND: | | |
|---------------------------------|--------------------------------|---|
| ---LIMITS OF DISTURBANCE | ---OUTLET PROTECTION | ---CONSTRUCTION ENTRANCE |
| ---SILT FENCE | ---CHECK DAM | XXXX---DITCH LINER - NAG C350 OR EQUAL |
| ---EXISTING TEMPORARY DIVERSION | ---WATTLE | NOTE* ALL DITCHES LINED W/ NAG S150 UNLESS OTHERWISE NOTED. |
| ---TEMPORARY DIVERSION | ---CHECK DAM W/ WEIR & STORAGE | ---SILT FENCE OUTLET |
| ---CLEAN WATER DIVERSION | ---WATTLE W/ STORAGE | ---EXISTING CONTOUR |
| ---TREE PROTECTION BARRIER | | ---PROPOSED CONTOUR |
| ---INLET PROTECTION | | ---CONCRETE WASHOUT AREA |
| ---ARC INLET PROTECTION | | ---SKIMMER BAFFLES |

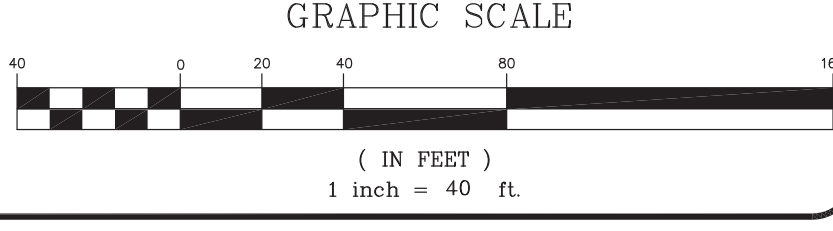


SCM TO SERVE AS TEMPORARY SKIMMER BASIN DURING CONSTRUCTION

PRELIMINARY



REVISED
4:10 pm, Jun 29, 2018



314 East Main Street
Clayton, NC 27520
adamsh@adamsandhodge.com
919-243-1332
FAX: 919-243-1332

ADAMS & HODGE
ENGINEERING, PC

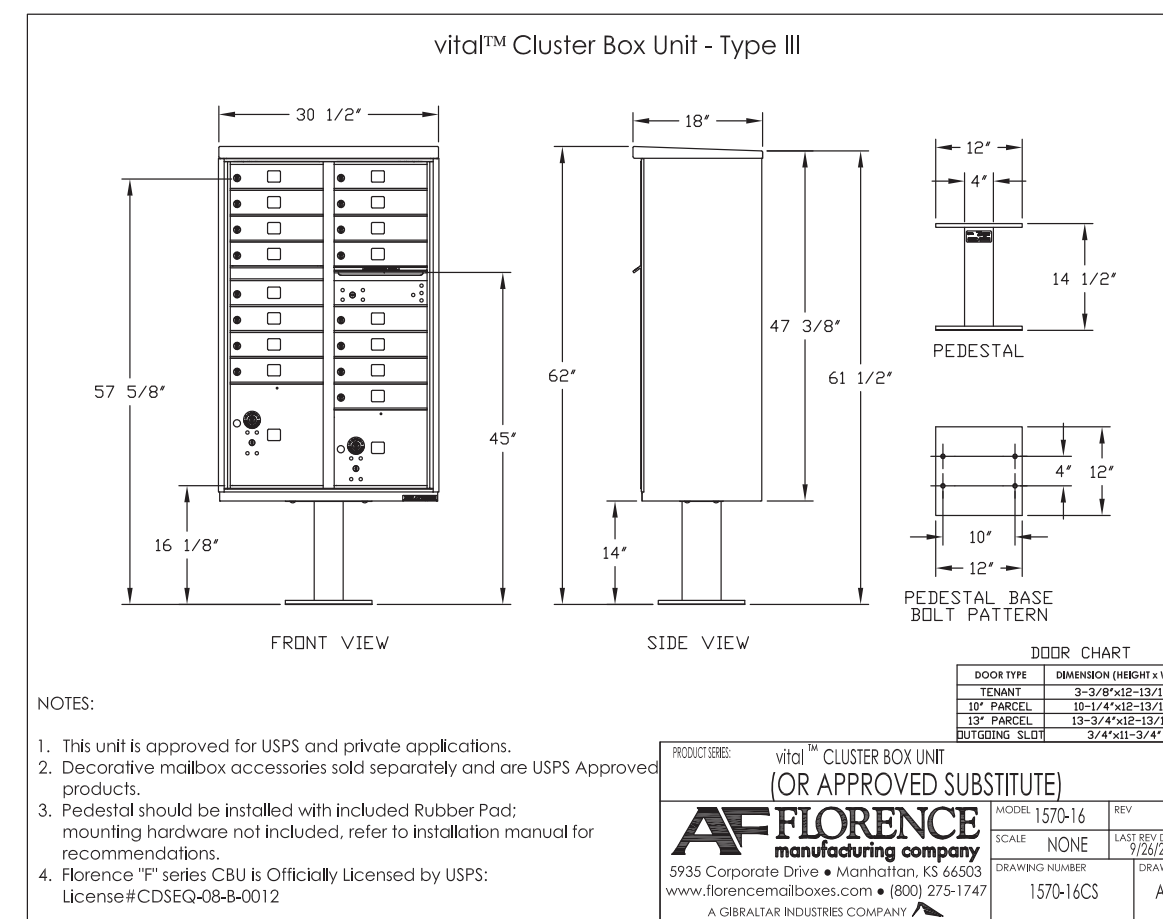
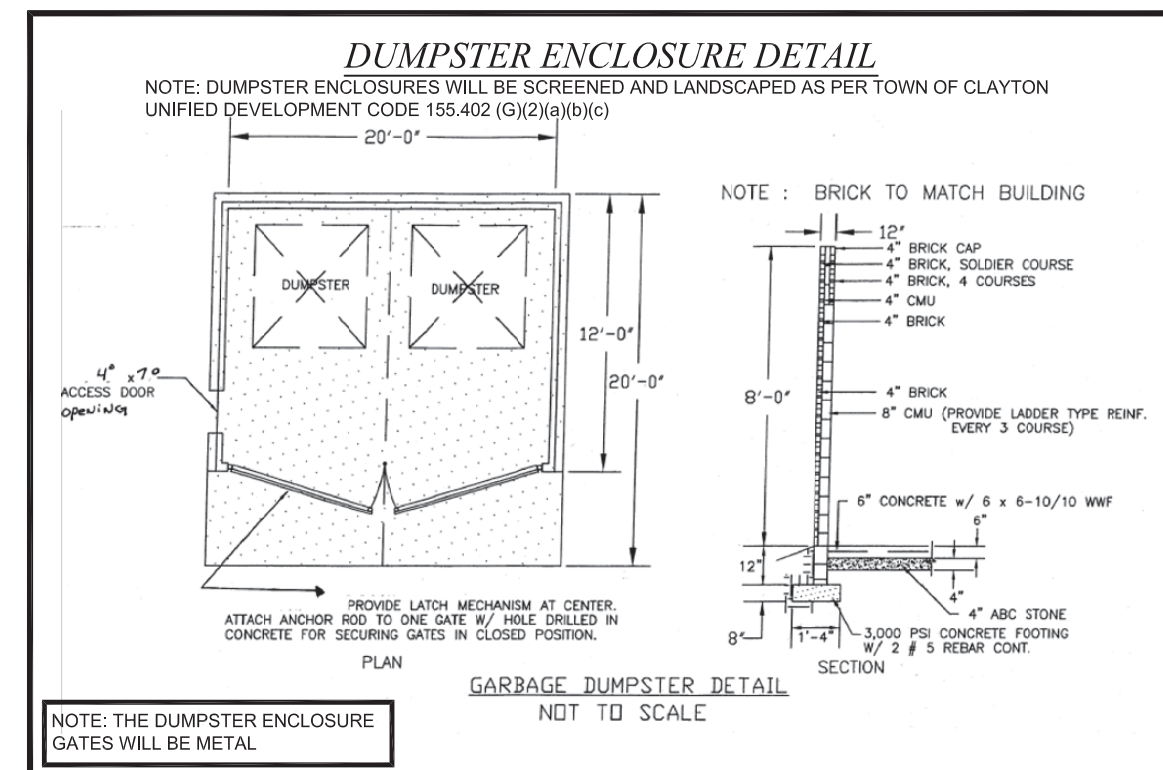


The Village @ Parkview
Phases 9-16
TOWN OF CLAYTON, NC 27560

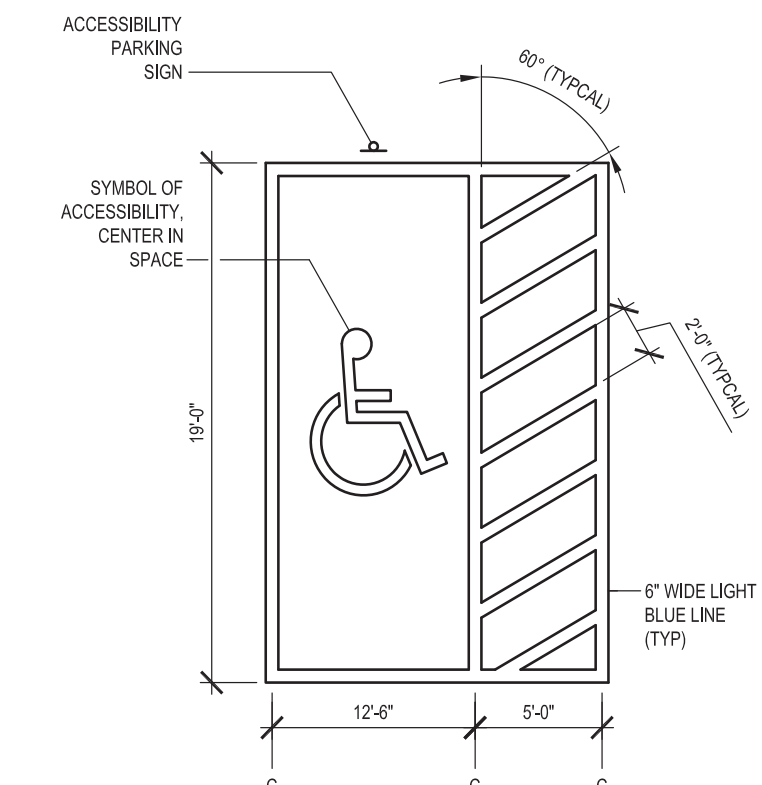
PRELIMINARY
GRADING PLAN &
EROSION CONTROL

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 07/02/2018
JOB NO: 44-
SHEET

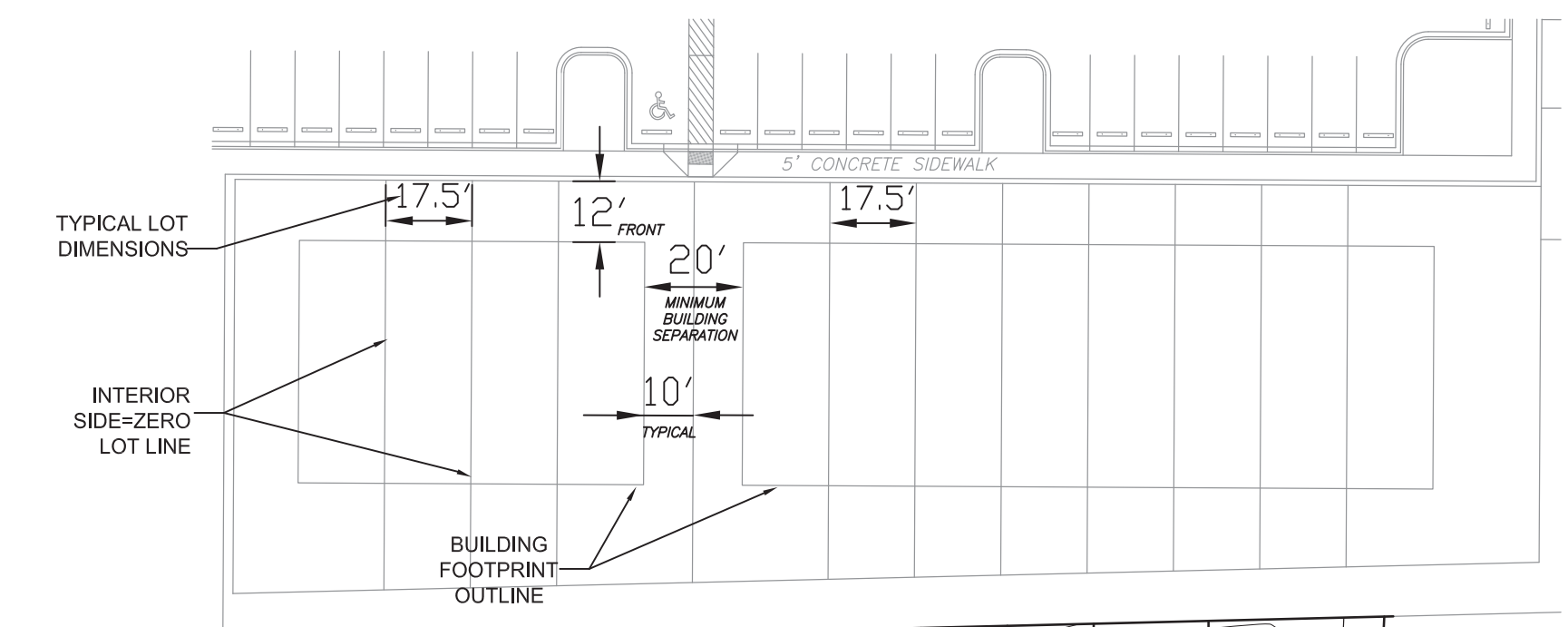
SP06



CLUSTER MAILBOX UNIT
NOT TO SCALE



ACCESSIBLE PARKING DETAIL
AS PER 155.401(C)(3)(b) OF THE TOWN OF CLAYTON UNIFIED DEVELOPMENT CODE



DIMENSIONAL INFORMATION
NOTE:
MINIMUM LOT WIDTH = 17.5'
MINIMUM LOT DEPTH = 75'



FRONT ELEVATION (8 UNITS)
NOT TO SCALE
*ALL UNITS ARE 2 BEDROOMS/ 2 BATHS
EXTERIOR MATERIALS: VINYL SIDING, STONE, AND ASPHALT SHINGLES

PRELIMINARY



REVISED
4:13 pm, Jun 29, 2018

314 East Main Street
Clayton, NC 27520
adamsh@adamsandhodge.com
704.241.4183
FIRM # C-1187

ADAMS & HODGE
ENGINEERING, PC



The Village @ Parkview
Phases 9-16
TOWN OF CLAYTON, NC 27520

REGULATORY
STANDARDS

DESIGN: DCA/ADS
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SET GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 07/02/2018
JOB NO.: 44-
SHEET: SP07



May 30, 2018

Chandra Farmer, PE
Johnston County Department of Public Utilities
PO Box 2263
Smithfield, NC 27577

Subject: Stormwater Statement
Village at Parkview Ph 9-16
Clayton Township, Johnston County

Dear Mrs. Farmer,

Please find enclosed the Stormwater Statement and one copy of the preliminary subdivision plat for the above referenced Subdivision.

If you have any questions or comments, please give me a call at 919-369-1938 or email andrew@adamsandhodge.com

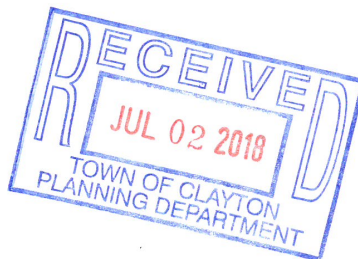


Sincerely,



Andrew Hodge, PE

05/30/18





STORMWATER MANAGEMENT STATEMENT

For

Village at Parkview Ph 9-16

Location: The property is located on the east side of City Rd (SR1709) in the city limits of Clayton and approximately 1,700ft north of W Stalling St, in the Clayton Township. This site is not within the Environmentally Sensitive Overlay District.

Developer: Sam's Branch Development, LLC
114 W. Main Street, Suite 102
Clayton, NC 27520
919-763-7278

Consultant: Adams & Hodge Engineering, PC
314 E. Main Street
Clayton, NC 27520
Phone # 919-243-1332



General Information

This proposed addition to the Village at Parkview includes 3.85acs of new property and 39 additional lots. This property is currently approximately 70% open and 30% wooded. No portion of this property lies in the 100yr flood plain. There is a Neuse Buffer Subject Feature on this phase, although there is no planned disturbance.

Impervious Area

Proposed to limit the impervious area to 75% of each lot

Total Nitrogen Export Estimate

TN Export = 1.90 lb/ac/yr (See attached worksheet)

Existing Drainageways

This site drains south to an unnamed tributary then to Sam's Branch

Downstream and upstream drainage structures

This phase contributes +/-3.8ac of the total +/-31.5ac watershed. There will be a stormwater pond on the south side of the site to capture and release the projects flow at a pre-development rate.

Stormwater Plan - VILLAGE at PARKVIEW PHASE 9-16

The proposed development is a single family residential subdivision consisting of 3.85 total acres. There are 39 lots in these phases. This property is located in the Town of Clayton. The site is mostly non-wooded. This project is not in the 100yr flood plain

Total Nitrogen Export Estimate - METHOD 2

| Type of Land Cover | Area (acs) | TN Export Coeff (lb/ac/yr) | TN Export (lbs/yr) |
|--|------------|----------------------------|--------------------|
| Permanently protected, undisturbed open space (forest, unmown meadow, etc) | 0.590 | 0.6 | 0.4 |
| Permanently protected, managed open space (lawn, grass, landscaping, etc) | 1.430 | 1.2 | 1.7 |
| Impervious surfaces (roads, parking lots, driveways, roofs, paved or graveled storage areas, gravel roads, etc.) | 1.830 | 21.2 | 38.8 |
| Totals | 3.850 | | 40.9 |

(All remaining area that isn't impervious)

(Total Design Impervious)

TOTAL NITROGEN EXPORT 10.6 lbs/year/acre

EXISTING IMPERVIOUS

| | | | |
|--|-------|------|-----|
| Impervious surfaces (roads, parking lots, driveways, roofs, paved or graveled storage areas, gravel roads, etc.) | 0.410 | 21.2 | 8.7 |
|--|-------|------|-----|

(Existing Impervious - HOUSES, BUILDINGS & DRIVES)

| | |
|---|------|
| Total proposed nitrogen export | 10.6 |
| Reduction due to existing nitrogen export | 8.7 |

| | |
|--|------------|
| TOTAL NITROGEN EXPORT AFTER REDUCTION | 1.9 |
|--|------------|

The proposed N-Export is LESS THAN 3.6 lb/ac/yr
Therefore, a Nitrogen Fee and/or BMP Treatment WILL NOT BE required.



TOWN OF CLAYTON
 Engineering & Inspections Department
 111 E. Second Street, Clayton, NC 27521
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

WASTEWATER ALLOCATION REQUEST

The Town of Clayton, in an effort to manage and maintain the sewer and water capacity for the Town, requires that this application be completed and submitted to the Town for consideration of a utility allocation.

Application MUST be completed and sealed by a registered engineer unless otherwise approved by staff.

SITE INFORMATION

Name of Project: The Village at Parkview Ph 9-16 Acreage of Property: 3.85 ACS
 County Tag Number: 05H02199C / 05H02198 NC PIN: 166909-06-1495 / 166909-06-1265
 Address/Location: 352 City Road, Clayton, NC 27520
 Zoning District: R-10
 Town Limits / ETJ: Town Limits ETJ (Extra-Territorial Jurisdiction)

APPLICANT INFORMATION – Applicant must be a registered engineer unless otherwise approved by the Director of Engineering & Inspections

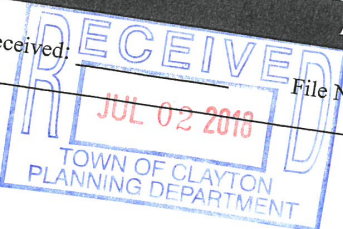
Applicant: Adams & Hodge Engineering, PC
 Mailing Address: 314 East Main Street, Clayton, NC 27520
 Phone Number: 919-763-7278 Fax: N/A
 Contact Person: Donnie Adams
 Email Address: donnied@adamsandhodge.com

PROPERTY OWNER INFORMATION

Name: Sam's Branch, LLC / Delila R B Thompson Living Trust
 Mailing Address: 114 W. Main St., Clayton, NC 27520 / 8013 Old Stage Rd., Raleigh, NC 27603
 Phone Number: 919-422-6815 Fax: N/A
 Email Address: reid@one27homes.com

FOR OFFICE USE ONLY

Date Received: _____ File Number: _____ Associated Project Number: _____



April 2018

PROJECT INFORMATION

Use: New Expanded Change Use Type: Residential Non-Residential

Proposed Use(s): Residential Townhomes Existing Use(s): Residential

Invoice shall be mailed to the following:

Developer Name: Sam's Branch LLC

Mailing Address: 114 Main St., Clayton, NC 27520

Phone Number: 919-422-6815 Fax Number: N/A

Email Address: reid@one27homes.com

ALLOCATION REQUEST

The following is required:

- For non-residential construction, submit a floor plan of proposed building.
- Use additional sheets if necessary.
- Provide any documentation supporting/justifying the request as an attachment (using a comparable use is recommended).
- If a phasing / take-down schedule is proposed, include as an attachment.

Residential:

Gross Acreage: 3.85

| Single Family | # of Units | GPD per Unit | Total Requested GPD |
|-------------------|------------|--------------|---------------------|
| 1-2 Bedroom Units | 39 | 240 | 9360 |
| 3 Bedroom Units | | | |
| >3 Bedroom Units | | | |
| Total | 39 | ----- | 9360 |

| Multi-Family | # of Units | GPD per Unit | Total Requested GPD |
|-------------------|------------|--------------|---------------------|
| 1-2 Bedroom Units | | | |
| 3 Bedroom Units | | | |
| >3 Bedroom Units | | | |
| Total | N/A | ----- | N/A |

Non-Residential: (Design Flow Guideline provided as Appendix A)*

**If design flow deviates from the flow rates presented in Appendix A, provide supporting documentation/justification as an attachment in the form of 12 months of water bills demonstrating gallons per day utilized.*

Gross Acreage: N/A

| Use | Measurement Unit | # of Units | GPD per Unit | Total Requested GPD |
|--------------|------------------|------------|--------------|---------------------|
| | | | | |
| | | | | |
| Total | N/A | | ----- | N/A |

TOTAL REQUESTED GALLONS PER DAY: 9360 GPD

NOTE TO APPLICANT:

Invoicing:

Invoices are generated on the following schedule:

Non-Residential:

Generated with the application for a Zoning Compliance Permit.

Residential:

Multi-Family / Apartments:

Generated with the application for a Zoning Compliance Permit.

Subdivision / Subdivided Lots:

Generated at Final Plat submittal.

Fee Development:

Development Fees are calculated and invoiced based on the Town of Clayton adopted Comprehensive List of Fees and Charges. Invoiced fees include acreage fees, capacity fees, nutrient offset fees, recreation fees, fees-in-lieu, and electric department lot deposit. Please speak with Town staff with questions.

Approval:

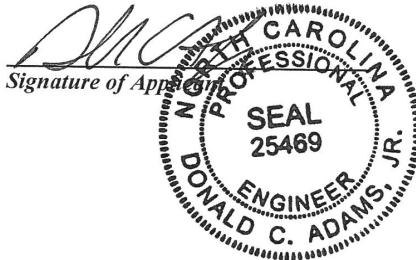
Requests over 10,000 GPD are approved by the Town Council, by resolution. All other requests are approved by the Town Manager.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town of Clayton to approve the subject Wastewater Allocation. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Clayton, North Carolina, and will not be returned.

Adams & Hodge Engineering, PC

Print Name



4/29/2018

Date

Engineer Seal:

TOWN OF CLAYTON OFFICE USE ONLY:

Approved by: Town Manager
 Town Council (*requests of 10,000 GPD or more require Council approval by resolution*)

The **Town Manager / Town Council (circle one)** has authorized the allocation of _____
gallons per day for project # _____.

Date of Approval: _____

Signed:

Town Manager

If approved by Town Council:
Attach a copy of the resolution and any associated documentation.



TOWN OF CLAYTON
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

SUBDIVISION: MAJOR SUBDIVISION (Preliminary Subdivision Plat)

Pursuant to Article 7, §155.706 of the Unified Development Code (UDC), an owner of land within the jurisdiction of the Town (or a duly authorized agent) may petition the Town of Clayton to approve a subdivision of land. Please complete all fields in this application and submit to the Planning Department with all required materials.

Application Fees: **Major Preliminary Subdivision Plat Fee: \$400.00 + \$5.00 per lot**
Advertisement Fee: \$100.00
Modifications to Approved Plans Fee:
 Major Modification: \$400.00 + \$5.00 per lot modified
 Minor Modification: \$200.00 + \$5.00 per lot modified

See §155.706(F) of the UDC for a definition of Major vs. Minor Subdivisions.
 See §155.706(I) for Preliminary Plat approval (major subdivision) process/approval information.
 See §155.203(F), (G), and (H) for information on Conventional vs. Open Space Subdivisions.
 See §155.706(N) for information on minor and major modifications.
 See UDC Article 6 for Subdivision Standards.

SITE INFORMATION

New Major Subdivision
 Conventional: _____ Open Space: _____

Modification to Approved Preliminary Plat
 Major: x _____ Minor: _____

New Subdivision Master Plan

Name of Project: Warrick Park Acreage of Property: 22.46 ACS

Tag #: 05G01016H NC PIN: 175000-40-1814

Location: 1804 Old US Hwy 70 W, West of Shotwell

Number of Lots (existing): 2 (Proposed) 23 Min Lot Size: 28,701 SF

Zoning District: R-E Electric Provider: Duke Energy

Wastewater: Septic Sewer (check one) Water: Well Public/Private Water (check one)

Recreation/Open Space Requirement: Fee in lieu Land Dedication – Acreage: _____

FOR OFFICE USE ONLY

Date Received: JUL 02 2018 Amount Paid: \$725- File Number: 2018-125-51

June 2018 TOWN OF CLAYTON
 PLANNING DEPARTMENT

PROPERTY OWNER INFORMATION

Name: Sam's Branch, LLC
 Mailing Address: 114 W. Main Street, Suite 102, Clayton, NC 27520
 Phone Number: 919-422-6815 Fax: _____
 Email Address: reid@one27homes.com

APPLICANT INFORMATION

Applicant: Adams & Hodge Engineering, PC
 Mailing Address: 314 E. Main Street, Clayton, NC 27520
 Phone Number: 919-763-7278 Fax: _____
 Contact Person: Donnie Adams
 Email Address: dennie@adamsandhodge.com

REQUIRED INFORMATION (to be submitted with the application)

The following items must accompany the application:

| To be completed by the applicant: | | | To be completed by staff: | | |
|--|-----|-----|---------------------------|----|-----|
| <i>Submit 9 copies of all materials unless otherwise noted or directed by staff</i> | Yes | N/A | Yes | No | N/A |
| 1. A pre-application meeting was held with Town Staff. Date: _____ | | ✓ | | | |
| 2. Completed Application | ✓ | | | | |
| 3. Review Fee and Advertisement Fee | ✓ | | | | |
| 4. Findings of Fact, signed <i>Not required for minor modifications. Form is included in this packet.</i> | ✓ | | | | |
| 5. Owner's Consent Form <i>Required if applicant is not the property owner. Included in this packet</i> | ✓ | | | | |
| 6. Preliminary Plat Subdivision Requirements Checklist form, completed and signed <i>Checklist is included in this packet</i> | ✓ | | | | |
| 7. Plat sheet(s) meeting requirements of the Requirements Checklist | ✓ | | | | |
| 8. If subdivision waivers are requested, applicant must attach a separate typed document requesting the waivers. The document must specifically list the waivers requested, including Code references, and must address the 4 considerations outlined in §155.706(I)(7). | ✓ | | | | |
| 9. Adjacent Property Owners List | ✓ | | | | |
| 10. Road Name Application <i>Included in this packet</i> | | ✓ | | | |
| 11. Wastewater allocation request OR verification of wastewater allocation <i>Letter format, to the attention of the Town Manager.</i> | | ✓ | | | |

FINDINGS OF FACT

Section 155.706(I)(10) of the Unified Development Code requires that certain findings must be made by the Town Council before a Major Subdivision may be approved. Outline below (you may attach additional sheets) how the application addresses each of the following findings:

- (1) That the subdivision meets all required specifications of the town Subdivision Regulations and conforms to the town Unified Development Code.

This proposed subdivision has been designed to adhere to the regulations and guidelines of the Town of Clayton's UDO.

- (2) That the subdivision will not be detrimental to the use or orderly development of other properties in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.

The proposed subdivision has been designed to match the flavor and character of adjacent developments as well as other developments in the near vicinity.

- (3) That the subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the unified and orderly use of or extension of public infrastructure, and will not materially endanger the environment, public health, safety, or the general welfare.

At only 24 lots this proposed subdivision does not pose a threat to the currently existing traffic patterns of this area. In addition, it does not access directly onto Old US HWY 70, but makes use of an existing entrance into an adjacent development. Utility services are a combination of public water and individual septic systems. We see nothing in the design of infrastructure of this development that would materially endanger the environment, public health safety or the general welfare of the public.

- (4) That the subdivision will not adversely affect the general plans for the orderly growth and development of the town and is consistent with the planning policies adopted by the Town Council.

This proposed subdivision does not adversely affect the orderly growth and development of the Town and is consistent with the planning policies adopted by the Town Council.

Project Name: Warrick Park

Amy D. Stancil
Print Name

[Signature]
Signature of Applicant

7/02/18
Date



TOWN OF CLAYTON

Planning Department

111 E. Second Street, Clayton, NC 27520

P.O. Box 879, Clayton, NC 27528

Phone: 919-553-5002

Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Warrick Park Address or PIN #: 17500-30-9566

AGENT/APPLICANT INFORMATION:

Adams & Hodge Engineering, PC (Name - type, print clearly)

314 East Main St. (Address) Clayton, NC 27520 (City, State, Zip)

I hereby give CONSENT to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (list applicable requests below):

Major Subdivision Modification

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by my agent or me will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Reid Smith - Sam's Branch LLC (Name - type, print clearly)

114 W. Main St. (Address)

[Signature] (Owner's Signature)

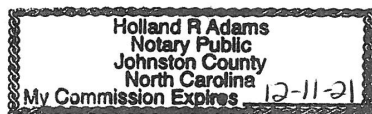
Clayton, NC 27520 (City, State, Zip)

STATE OF North Carolina COUNTY OF Johnston

Sworn and subscribed before me, Holland R Adams, a Notary Public for the above State and County, this the 2nd day of July, 2018.

[Signature] Notary Public

SEAL



My Commission Expires: 12-11-21



TOWN OF CLAYTON
 Planning Department
 111 E. Second Street, Clayton, NC 27520
 P.O. Box 879, Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

OWNER'S CONSENT FORM

Consent is required from the property owner(s) if an agent will act on their behalf. A separate form is required from each owner. Consent is valid for one year from date of notary, unless otherwise specified. All fields must be completed.

Project Name: Warrick Park Address or PIN #: 17500-30-9566

AGENT/APPLICANT INFORMATION:

Adams & Hodge Engineering, PC
 (Name - type, print clearly)

314 East Main St.
 (Address)
Clayton, NC 27520
 (City, State, Zip)

I hereby give **CONSENT** to the above referenced agent/applicant to act on my behalf, to submit applications and all required materials and documents, and to attend and represent me at all meetings and public hearings pertaining to the following processes (*list applicable requests below*):

Major Subdivision Modification

Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify that I have authority to execute this consent form as/on behalf of the property owner. I understand that any false, inaccurate or incomplete information provided by my agent or me will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

OWNER AUTHORIZATION:

Reid Smith - Sam's Branch LLC
 (Name - type, print clearly)

114 W. Main St.
 (Address)

[Signature]
 (Owner's Signature)

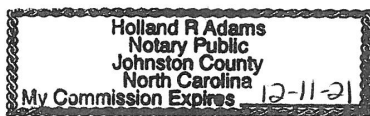
Clayton, NC 27520
 (City, State, Zip)

STATE OF North Carolina COUNTY OF Johnston

Sworn and subscribed before me, Holland R Adams, a Notary Public for the above State and County, this the 2nd day of July, 2018.

[Signature]
 Notary Public

SEAL



My Commission Expires: 12-11-21



TOWN OF CLAYTON
 Planning Department
 111 E. Second St., P.O. Box 879
 Clayton, NC 27528
 Phone: 919-553-5002
 Fax: 919-553-1720

PLAN REQUIREMENTS

Pursuant to Article 7, Section 155.706 of the Unified Development Code, applications requesting a public hearing or administrative approval process shall submit a plan set to the Planning Department. These plans may include Master Plan, Site Plan, Subdivision Plan, Regulating Plan, Architectural Elevations, Landscape Plan, Photometric/Lighting Plan, Engineering Plans, and Survey. The plan requirements shall be based on the type of development application or approval process.

PLAN FORMAT

These standards are established to provide information pertaining to the graphic and format presentation of plans. The following is required for all types of plans, except where otherwise noted:

- All plans and architectural elevations shall be limited to 24" x 36" in size, and folded to an 8.5" x 11" format.
- Plans are to be drawn at the same engineering scale of 1" = 20'; 30'; 40'; 50'; 60' (architectural elevations and details are exempt from this requirement) with north oriented in the same direction.
- Plans may be drawn at an engineering scale of 1" = 100', if approved by the Planning Department or the Technical Review Committee (TRC).
- Architectural plans and elevations shall be drawn at an architectural scale of 1" = 3/32', 3/16', 1/8', 1/4', or 3/8'.
- All drawings, except elevations, isometric drawings, and renderings, shall be in two dimensional plan views.
- All text shall be clear and legible.
- Line weight hierarchy on all plans shall be consistent with common drafting standards.
- Multiple sheets shall be consecutively numbered (e.g. Sheet 1 of 4).
- All numerical references shall be rounded up to a maximum of two decimal points.

PLAN ELEMENTS AND GRAPHIC DATA

The following items include general and project information. This information is required to be present on all plans, except where otherwise noted.

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | Consultant Logo Box (name, address, phone number, fax, and e-mail, if applicable) |
| ✓ | | | Project/Application Name |
| ✓ | | | Type of Plan (site plan, landscape plan, elevations, etc.) |
| ✓ | | | Signature and Professional Seal (landscape plans, architectural elevations, engineering plans, surveys) |
| ✓ | | | Revision Date |
| ✓ | | | Sheet Number |
| ✓ | | | Location Map (site plan only) |
| ✓ | | | North Arrow |
| ✓ | | | Graphic Scale (engineering or architectural graphic and written scale) |

The following elements are specific to each property and application request, and shall be shown graphically on the specific plan types listed below. These graphics shall be supported by text, labeling, and dimensional information (width, length, and depth).

SURVEY

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| | | ✓ | A signed and sealed boundary survey (not more than a year old unless otherwise approved by the Planning Department) with the bearings and distances of every property line shown. Distances shall be in feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required. The survey must include any and all easements of record (referenced by Deed Book and Page) and must be prepared by a surveyor registered in the State of North Carolina. |
| | | ✓ | The existing topographical conditions of the property with a two-foot contour interval. |
| | | ✓ | The existing streets and roadway improvements (medians, landscaping, signage, driveways, etc.) within 100 feet of project boundary. |
| | | ✓ | The existing structures located on the subject property. |
| | | ✓ | The existing structures within 100 feet of project boundary. |
| | | ✓ | The existing utilities (including inverts of pipes, rim elevations, wells and septic tanks, etc.) within 100 feet of project site. |
| | | ✓ | The existing trees identified by caliper and species (if required by the Planning Department). |

SITE PLAN

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | Site data table |
| ✓ | | | Name of project (AKA names if applicable) |
| ✓ | | | Parcel identification number (and/or Tag number) |
| ✓ | | | Property size (acres and square feet) |
| ✓ | | | Property location (Town limits or ETJ) |
| ✓ | | | Existing zoning district |
| ✓ | | | Proposed zoning district (if applicable) |
| | | ✓ | Overlay (if applicable) |
| ✓ | | | Existing use |
| ✓ | | | Proposed use |
| | | ✓ | Number of seats/students/fueling positions (as applicable). |
| ✓ | | | Number of housing units proposed, per housing unit type. |
| ✓ | | | Existing density (number of units per acre) |
| ✓ | | | Proposed density (number of units per acre) |
| | | ✓ | Existing intensity (gross floor area) |
| | | ✓ | Proposed intensity (gross floor area) |
| | | ✓ | Floor area ratio |

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| ✓ | | | Building coverage (as percentage of total site) |
| ✓ | | | Pervious surface area (square feet and as percentage of total site) |
| ✓ | | | Impervious surface area (square feet and as percentage of total site) |
| ✓ | | | Building height (number of stories and in feet) |
| | | ✓ | Required parking (list requirement i.e. 1 space per 300 SF) |
| | | ✓ | Proposed parking |
| | | ✓ | Required/proposed handicap accessible parking |
| | | ✓ | Required loading space(s) |
| ✓ | | | Provide name of Electric Provider. |
| ✓ | | | Provide name of Water Provider. |
| ✓ | | | Provide name of Sewer Provider. |

The items listed below are required to be delineated (in a tabular format) on the site plan:

Other site plan elements:

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| ✓ | | | Identify adjacent property owners, their parcel ID number, current zoning and present use. |
| ✓ | | | Identify the affected area for amendments to previously approved projects |
| | | ✓ | Overlay (if applicable) |
| ✓ | | | Existing use |
| ✓ | | | Proposed use |
| | | ✓ | Number of seats/students/fueling positions (as applicable). |
| ✓ | | | Identify existing easements. |
| ✓ | | | Identify proposed easements. |
| ✓ | | | Identify Open Space/Common Areas. |
| ✓ | | | Identify clear sight triangle at project ingress/egress points. |
| ✓ | | | Identify driveways, curb and gutter, cross section with ROW. |
| | | ✓ | Provide boundaries of Resource Conservation Areas (see UDC Section 155.500). |
| | | | Provide an off-street parking and loading layout (with details, dimensions and access location). Accessible parking requirements are listed in NCSBC Volume 1C, 1999 edition. Show traffic circulation arrows. |
| | | ✓ | Provide queuing details for drive-up/drive-thru facilities (if applicable). |
| | | ✓ | Provide the locations and dimensions of existing and proposed sidewalks. |
| | | ✓ | Provide the location and details of refuse collection areas. |
| | | ✓ | Provide the location, size and orientation of freestanding signs. |
| ✓ | | | Identify the location and nature of all recreational facilities and common areas. |
| | | ✓ | Identify alternative modes of transportation including school stops pedestrian connections, bicycle paths and associated racks. |
| ✓ | | | Identify proposed phasing (phasing lines) of construction. |
| ✓ | | | Cul-de-sacs must be dimensioned. |
| ✓ | | | Identify cluster mailbox unit (CBU) locations and details. |

CONCEPTUAL ENGINEERING PLANS

Note: Conceptual engineering plans are deemed preliminary in nature. Review and approval of public infrastructure construction plans is a separate process performed by Public Works Engineering Division.

| Provided | | | |
|----------|----|-----|---|
| Yes | No | N/A | |
| | | ✓ | Identify proposed streets and roadways (public and private) with dimensions and cross sections. |
| | | ✓ | Identify the curve radii for all internal and external vehicular use areas. |
| | | ✓ | Identify access to the project. |
| | | ✓ | Identify existing conditions and proposed grading plans. |
| | | ✓ | Identify Tree Conservation Areas shown on grading plan. |
| | | ✓ | Show proposed flow of traffic. |
| | | ✓ | Identify proposed traffic control signs and striping. |
| | | ✓ | Identify the proposed water distribution system (including size) with location of fire hydrants and point of connection. |
| | | ✓ | Identify the proposed sanitary sewer collection system (including size) and point of connection. If a municipal sewer connection is not available, please provide documentation from Johnston County Department of Environmental health that the location of septic tank and drain field is acceptable. |
| | | ✓ | Provide preliminary wastewater allocation calculation. |
| | | ✓ | Identify proposed grease traps. |
| | | ✓ | Identify backflow prevention. |
| | | ✓ | If a pool is present, show how it will connect to storm water. |
| | | ✓ | Identify the Utility Plan. |
| | | ✓ | Identify soil erosion control measures including impoundment structures. |
| | | ✓ | Indicate method of slope stabilization measures for all slopes steeper than 2.5:1. |
| | | | Identify the proposed storm water management system with location of inlets, piping and positive outfall along with typical section and top surface area of storm water retention/detention pond, including soil types, slope, bottom and top elevations, and finish floor elevations. |

Fire Rescue (information to be shown on conceptual engineering plans)

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| | | ✓ | Identify fire hydrant distribution (distance of hose lay). |
| | | ✓ | Identify the sprinkler connection locations and size. |
| | | ✓ | Identify fire lane designations and circulation around buildings (stripe fire lanes and show minimum stabilized access around all structures). |
| | | ✓ | Identify the emergency evacuation route (access in and out of the property). |
| | | ✓ | Identify fire apparatus turning radius. |
| | | ✓ | Verify the location of fire hydrants is not interfering with required landscaping (must be 24" clearance of landscaping from bottom of steam fitting). |
| | | ✓ | Identify the Lock Box/Knox Box locations. |
| | | ✓ | Identify placard locations for hazardous materials. |

LANDSCAPE PLAN

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| | | ✓ | Provide a landscape plan identifying the location of all proposed landscaping (must be prepared by a landscape architect registered in North Carolina). |
| | | ✓ | Indicate the location, width and type of all required buffers. |
| | | ✓ | Indicate the location, width and type of landscaping within vehicular use areas. |
| | | ✓ | Indicate the location, width and type of landscaping used to screen drive-thru areas, service areas, loading areas, mechanical equipment and above ground utilities. |
| | | ✓ | Provide a plant list summary table which includes: <ol style="list-style-type: none"> 1. A planting key identifying the various planting elements 2. The quantity of each type of plant material proposed 3. The size, height, caliper and spacing of plant material proposed 4. The Botanical and common names of plant material proposed |
| | | ✓ | Verify/identify clear sight distances at project ingress/egress points. |
| | | ✓ | Provide an irrigation note to read as follows: "All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor." (If irrigation will not be utilized, drought-tolerant species must be used). |
| | | ✓ | Provide a landscape maintenance note which states: "All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion". |
| | | ✓ | Identify and list any existing plant material which will be used to satisfy landscape requirements. |

LIGHTING PLAN

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| | | ✓ | Conceptual Lighting Plan |
| | | ✓ | Identify the light source and provide a detail of the fixture. |
| | | ✓ | Identify the proposed height of fixtures. |

ARCHITECTURAL ELEVATIONS AND FLOORPLAN

| Provided | | | |
|----------|----|-----|--|
| Yes | No | N/A | |
| | | ✓ | Provide floor plans, elevations, construction materials, finishes and colors, along with type of construction of all buildings per North Carolina Building Code prepared by a professional architect registered in North Carolina. |
| | | ✓ | Indicate the height and number of stories for each structure. |
| | | ✓ | Indicate the location and screening method for all roof mounted structures or equipment. |



ADAMS & HODGE
ENGINEERING, PC

July 2, 2018

Samantha Wullenwaber
Planning Director
Town of Clayton
111 E. Second Street
Clayton, NC 27528

Subject: Sidewalk and Fee in Lieu Waiver
T.O.C. Project #2016-163-SD
Warrick Park

Dear Mrs. Wullenwaber,

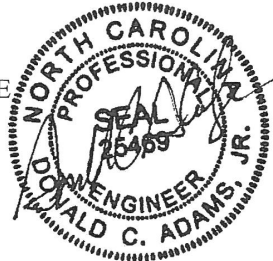
The purpose of this letter is to request a waiver from sidewalks and associated fee in lieu in Warrick Park. This subdivision was initially approved for sidewalks on both sides of the street with the option to pay fee in lieu for sidewalks on one side of the street. Please note that access to this property is through an existing development whose streets are standard strip asphalt with grass swales and no sidewalks. The Warrick Park streets have been paved, lots recorded and sold. The builders recently completed a few houses and attempted to form and pour a portion of the sidewalks in front of the completed houses. The sidewalk combined with the swale section did not go together very well. It was not attractive and created some unsafe conditions in relation to the back slopes of the swales. Please accept this letter as a request for Town Council approval of the aforementioned street section with no sidewalks and no fee in lieu requirements for Warrick Park. The following statements address the requirements set out in the 155.602(H)(1) and 155.602(I) of the Town of Clayton UDC:

1. Pertaining to the street section, the granting of this waiver will allow for development of this new property in a manner consistent with adjacent and existing developments and will not be detrimental to the public safety, health, or welfare or injurious to other properties in this area.
2. In regard to the sidewalk, section 155.602(H)(1) of the UDC allows for the exclusion of a sidewalk on a street with less than (10) dwelling units which is the case for Street "B". As Street "A" has only (12) dwelling units we would like to maintain continuity for both streets by not having any sidewalks in this development.

Please feel free to give me a call with any questions that may arise – 919-763-7278.

Sincerely,

Donald C. Adams, Jr., PE



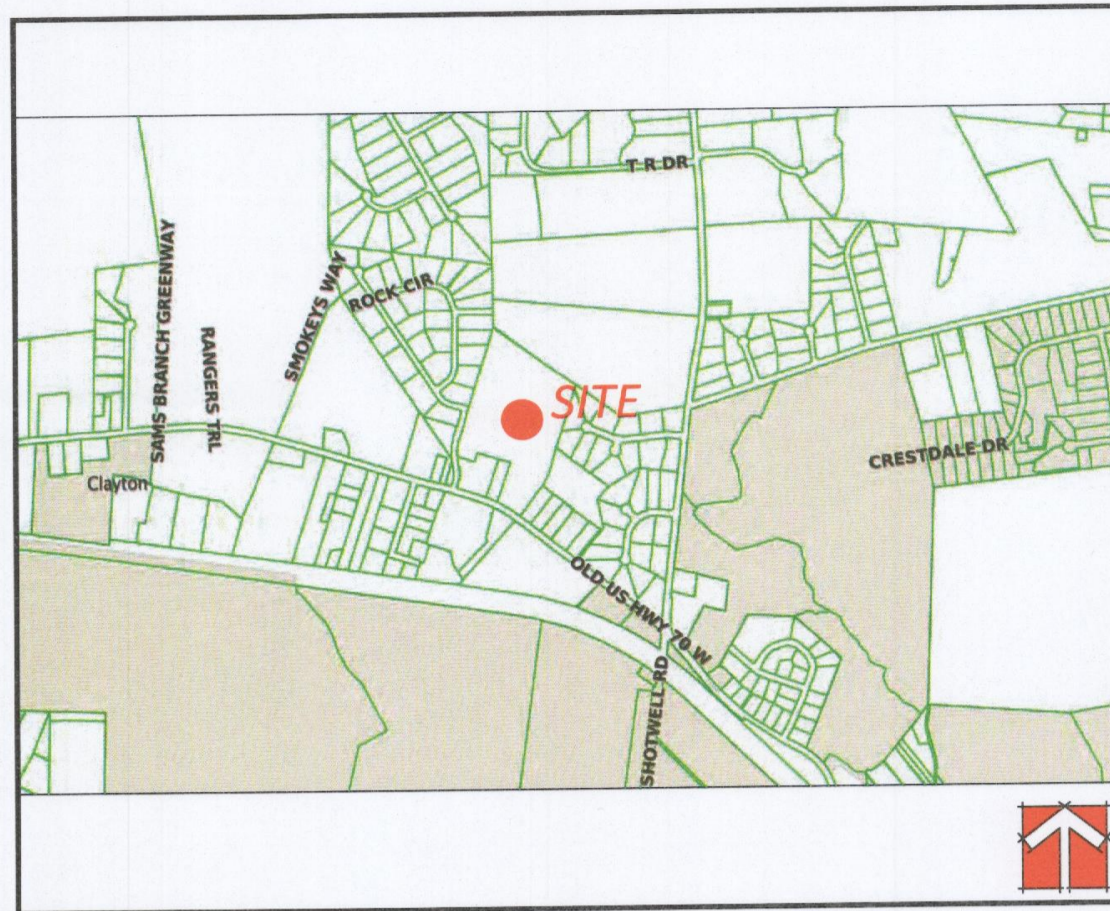
ADJACENT PROPERTY OWNERS LIST

Project Name: The Warrick Tract

The following are all the persons, firms, or corporations owning property within 100 feet and immediately adjacent to the property (including across street rights of way) subject to this request. Where the subject property immediately adjoins a public or private right-of-way, landscape or riparian buffer, commonly-owned private area, public property, or homeowners' association property, then letters of notification shall be sent to adjoining property owners as if they directly abut the subject property. Please use a separate sheet if necessary

It is the responsibility of the applicant to correctly identify the current owner, based upon records in the Johnston County GIS Office, for all property owners of land within the required public notice radius.

| PARCEL NUMBER | NAME | ADDRESS |
|----------------|-------------------------------------|---|
| 175000-41-8275 | Kathryn Ann & Donald J. Creasy | 1577 Shotwell Rd, Clayton, NC 27520-7057 |
| 175000-40-6794 | Phillip Jay & Kristi L. Stott | 3404 Sparrowwood Dr, Wake Forest, NC 27587-4993 |
| 175000-40-4644 | Eula Jean Thompson Hunter | 25 Seven Oaks Dr, Clayton, NC 27520-8034 |
| 175000-40-4493 | Patricia Moulthrop & Edward Poole | 22 Seven Oaks Dr, Clayton, NC 27520-8033 |
| 175000-40-5111 | Mary H. Rogel Heirs | 113 Farida Dr, Asheville, NC 28804 |
| 165906-49-2805 | H. I. Potts, Jr. | 1722 Old US Hwy 70 W, Clayton, NC 27520 |
| 165906-49-1370 | ASCO Builders, Inc. | 319 Chapanoke Rd, Suite 201, Raleigh, NC 27603 |
| 165906-39-7457 | Benny Wayne & Shelia Ann Powell | 1805 Old US Hwy 70 W, Clayton, NC 27520-6568 |
| 165906-39-5615 | Stephen L. & Barbara M. Poole | 1821 Old US Hwy 70 W, Clayton, NC 27520 |
| 165906-39-2991 | Hubert Donald Jones | 1827 Old US Hwy 70 W, Clayton, NC 27520 |
| 175000-30-3139 | Kristopher Z. Hogg | 1830 Old US Hwy 70 W, Clayton, NC 27520 |
| 175000-30-3404 | Rona Frost Privette & Mark D. Frost | 1900 Old US Hwy 70 W, Clayton, NC 27520 |
| 175000-30-3584 | Richard L. & Annie Pearl Stevens | 103 Fieldstone Dr, Clayton, NC 27520 |
| 175000-30-4710 | Curtine & Bernice Powell | 101 Pebble Dr, Clayton, NC 27520-8042 |
| 175000-30-5829 | James O. & Myra S. Taylor | 100 Pebble Dr, Clayton, NC 27520-8042 |
| 175000-31-5085 | Gregory Bruce & Beth Rhodes Franson | 304 Rock Circle, Clayton, NC 27520 |
| 175000-31-6233 | Thomas R. & Wanda Sue Howard | 308 Rock Circle, Clayton, NC 27520 |



SITE VICINITY MAP
NOT TO SCALE

MAJOR SUBDIVISION MODIFICATION

FOR

THE WARRICK TRACT CLAYTON, NORTH CAROLINA

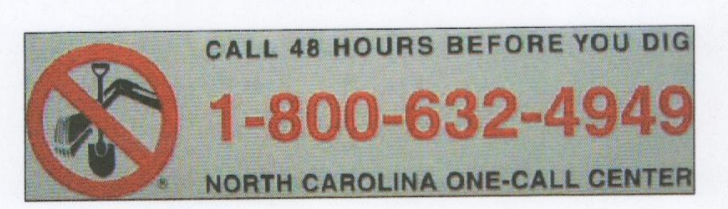
SHEET INDEX

| SHEET TITLE | SHEET No. |
|---------------------------------|-----------|
| APPROVED SUBDIVISION PLANS..... | SD01 |
| REVISED SUBDIVISION PLAN..... | SD01-R |

DEVELOPER/APPLICANT:

SAM'S BRANCH, LLC
216 U.S. HWY 70 WEST
GARNER, NORTH CAROLINA 27529

CONTACT/AGENT: DONNIE ADAMS, PE
919 763-7278



PRELIMINARY

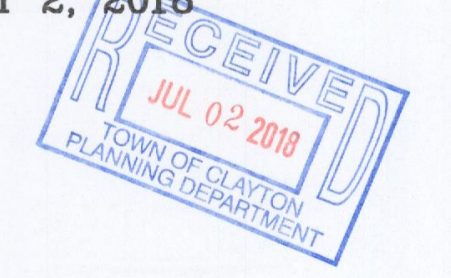


REVISED
9:20 am, Jul 02, 2018

ADAMS & HODGE
ENGINEERING, PC
314 East Main Street
Clayton, NC 27520
919-243-1332
donnie@adamsandhodge.com
FIRM # C-4187

WARRICK TRACT PRELIMINARY SUBDIVISION
CLAYTON, NORTH CAROLINA

OCTOBER 3, 2016
REVISED JANUARY 25, 2017
REVISED JULY 2, 2018



REFERENCE T.O.C. PROJECT: 2016-163-SDM

TOWN OF CLAYTON
APPROVAL 2016-163-SD
Preliminary Subdivision Plat
GRANTED

On the date listed below, the Town Council for the Town of Clayton met and held an evidentiary hearing to consider the following application:

Applicant: Adams & Hodge Engineering, PC
Property Location: 1804 Old US Highway 70, West of Shovel Road
Tax Parcel Number: Parcel #'s 175900-39-956 & 175900-39-6174
Proposed Use of Property: Applicant requested to develop a 26 unit single-family residential subdivision.
Meeting Date: January 3, 2017 / February 6, 2017

Having heard all the evidence and argument presented at the hearing, the Town Council finds that the application is complete, that the application complies with all of the applicable requirements of the Clayton Zoning Ordinance for the subdivision proposed, and that, therefore, the application to subdivide the above-described property for the purposes indicated is hereby approved, subject to all applicable provisions of the Zoning Ordinance and the following conditions:

- (1) The subdivision is consistent with the adopted plans and policies of the Town.
- (2) The subdivision meets all required specifications of the Unified Development Code.
- (3) The subdivision will not be detrimental to the use or orderly development of other property in the surrounding area and will not violate the character of existing standards for development of properties in the surrounding area.
- (4) The subdivision design will provide for the distribution of traffic in a manner that will avoid or mitigate congestion within the immediate area, will provide for the safe and orderly use of or extension of public infrastructures, and will not materially endanger the environment, public health, safety, or the general welfare.

CONDITIONS:
The Town Council also finds the Preliminary Subdivision Plat is subject to the following conditions:

1. This project is subject to the Conditions of Approval placed on the associated, approved Variance application (2016-210-YAR), listed below for convenience:
 - a. Any subdivision shall still adhere to the minimum separation requirements for wet and aquatic fields, as determined and administered by the appropriate body in this case, the Johnston County Environmental Health Department.
 - b. Average lot size shall be at least 20,000 sq. ft. This calculation shall not include existing homes on lots to be subdivided off the rest of the tract.
 - c. Minimum lot size shall be 25,000 sq. ft.
 - d. The maximum number of lots for the land in question shall be 26.
2. Following Board approval, three copies of the final Preliminary Subdivision Plan meeting the requirements of the Conditions of Approval shall be submitted to the Planning Department for final approval. The conditions of approval shall be recorded on the plans before final approval is granted.
3. All development fees shall be paid at building permit issuance, with the exception of recreation fees, which will be paid at plat.
4. Any fee-in-lieu shall be paid prior to plat. This includes the following fee-in-lieu, which are required for not installing the following improvements:
 - a. Submittals: \$155,000/lot

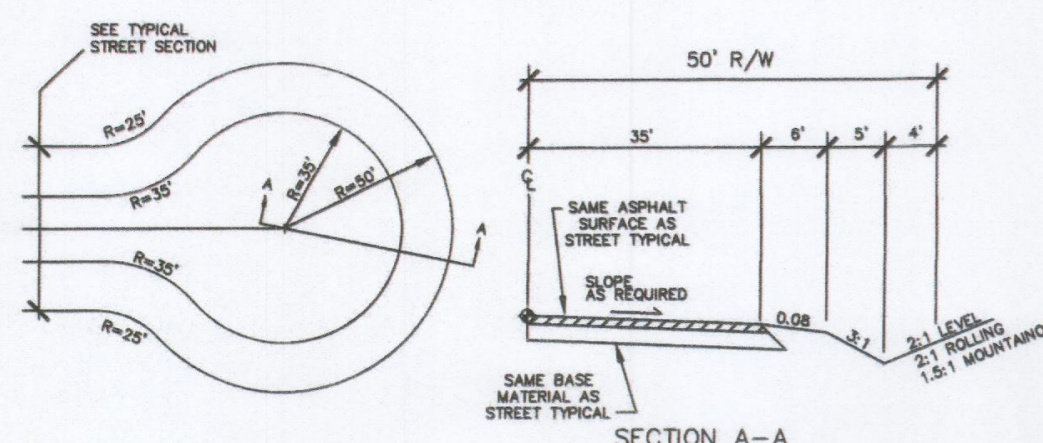
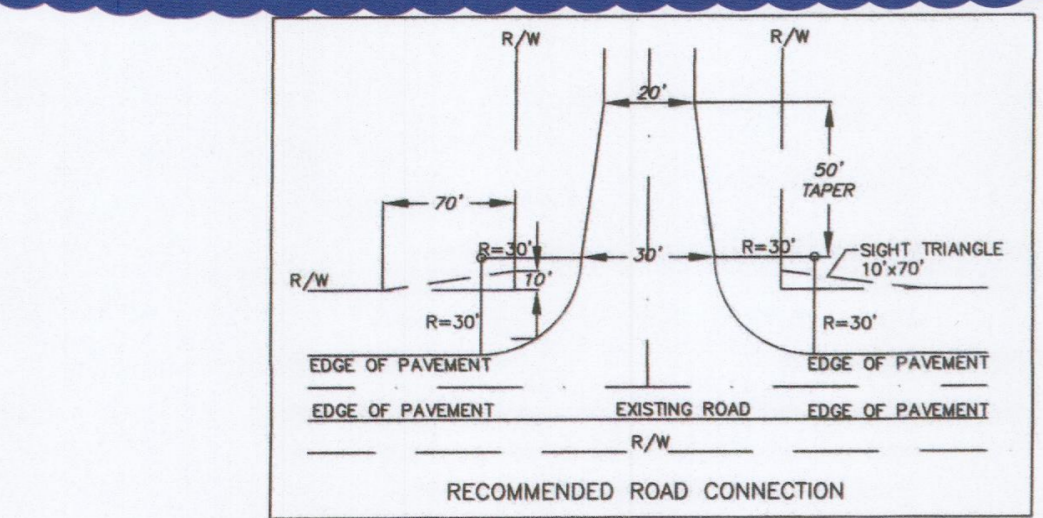
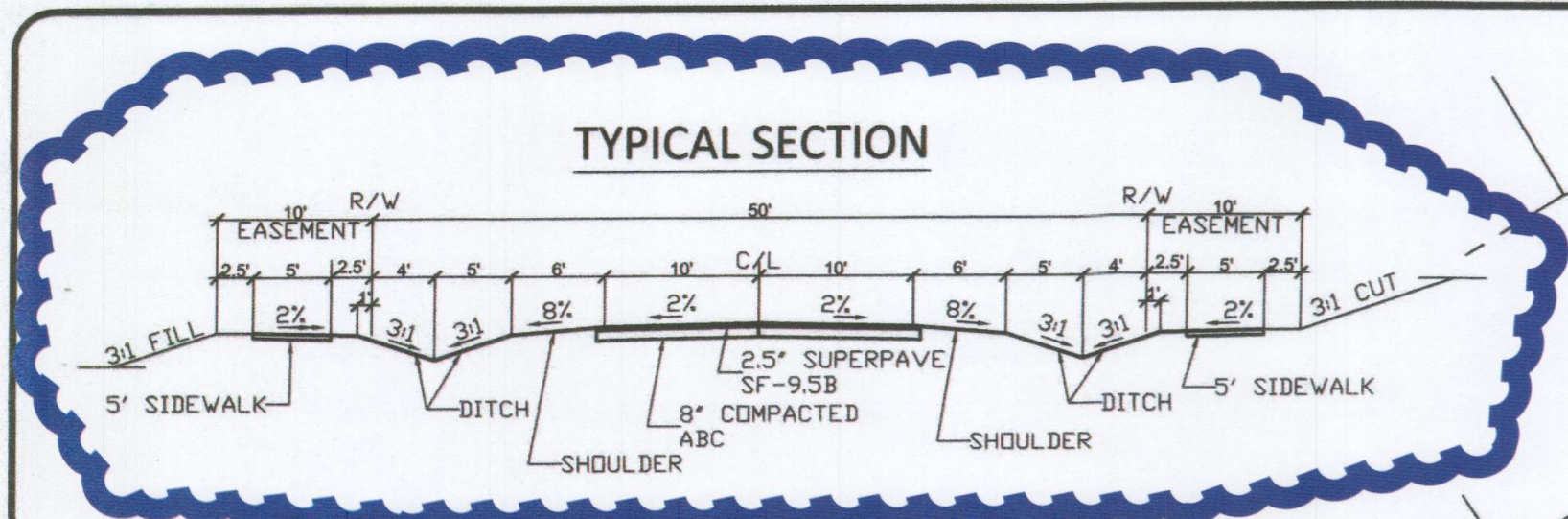
5. The final plat and subsequent development of the site shall be consistent with the specifications of the approved Preliminary Subdivision Plan. Modifications shall require additional approval pursuant to Section 155.706 of the Unified Development Code.
6. Prior to plat recordation, the subject properties shall be assessed into the Town of Clayton.
7. All signs shall require review/approval pursuant to UNC Section 155.713.
8. The landscaping buffer along Old US HWY 70 W shall be installed prior to the issuance of any Certificate of Occupancy.

NOTES:

1. Sidewalk shall be provided along one side of the street within the development, with one in-lieu fee for the remainder of the required sidewalk.
2. A 50' right-of-way dedication shall be provided for future access to the parcel to the north in a location acceptable to the Planning Department. A sign shall be posted at the property line stating that this road stub-out will connect to the neighboring property at such time as it develops (or some similar language).

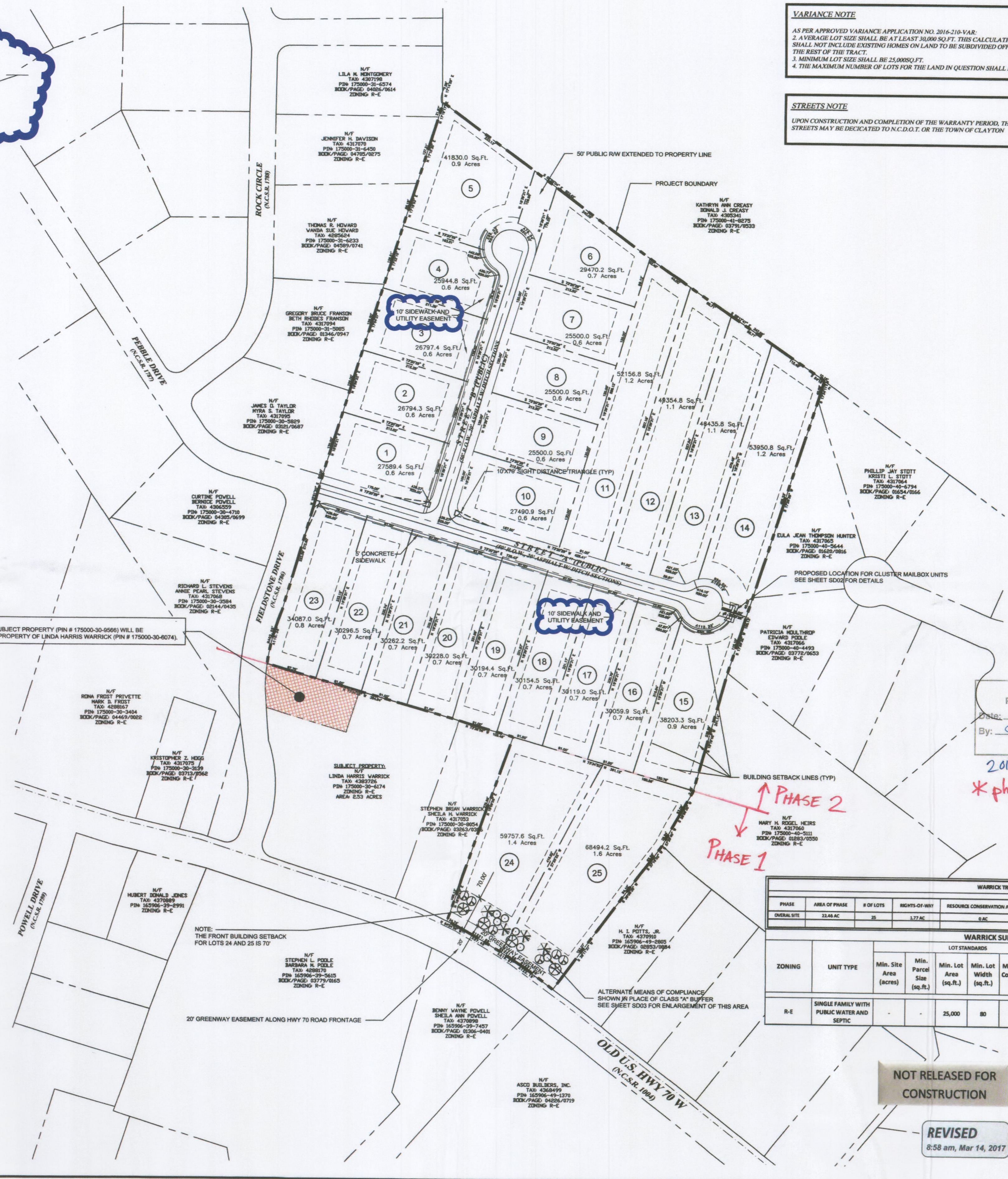
IN WITNESS WHEREOF, the Town has caused this approval to be issued in its name.

TOWN OF CLAYTON
BY: Mayor
ATTEST:
 Town Clerk
Clayton, NC



NCDOT TYPICAL SYMMETRICAL CULDESAC
NO SCALE
NOTES: 1. Steeper side slopes of 1:1 may be used in steep or hilly terrain.
2. Use roadways 18' ditch (see separate details) when necessary to continue drainage around culdesacs in 18' sections.
3. CONTRACTOR shall provide subgrade, base, and pavement leading on all streets in accordance with NCDOT Standards.
4. This detail is intended to meet or exceed the typical NCDOT cul-de-sac criteria (per NCDOT Subdivision Roadway Min. Construction Standards 2000 version).

NOTE: THIS PORTION OF THE SUBJECT PROPERTY (PIN # 175000-30-5566) WILL BE RECOMBINED WITH THE PROPERTY OF LINDA HARRIS WARRICK (PIN # 175000-30-6074).



VARIANCE NOTE
AS PER APPROVED VARIANCE APPLICATION NO. 2016-210-VAR:
1. AVERAGE LOT SIZE SHALL BE AT LEAST 30,000 SQ.FT. THIS CALCULATION SHALL NOT INCLUDE EXISTING HOMES ON LAND TO BE SUBDIVIDED OFF OF THE REST OF THE TRACT.
2. MINIMUM LOT SIZE SHALL BE 25,000 SQ.FT.
3. THE MAXIMUM NUMBER OF LOTS FOR THE LAND IN QUESTION SHALL BE 26

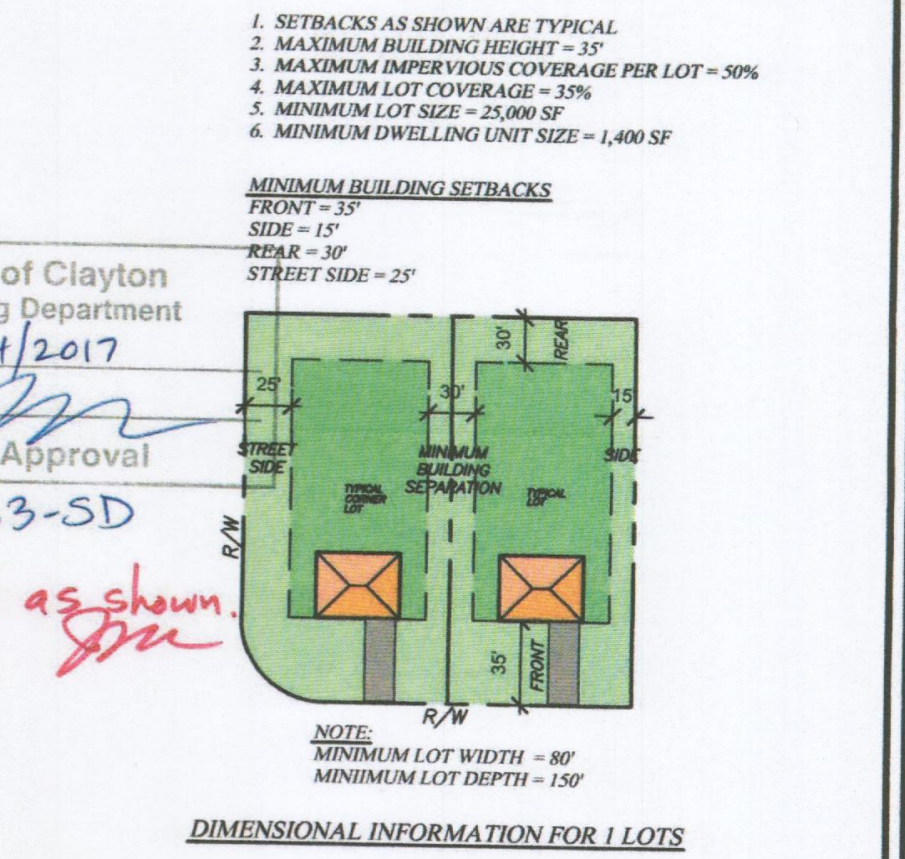
STREETS NOTE
UPON CONSTRUCTION AND COMPLETION OF THE WARRANTY PERIOD, THE STREETS MAY BE DEDICATED TO N.C.D.O.T. OR THE TOWN OF CLAYTON

CALL 48 HOURS BEFORE YOU DIG
1-800-632-4949
NORTH CAROLINA ONE-CALL CENTER

DEVELOPER/APPLICANT:
SAM'S BRANCH, LLC
216 U.S. HWY 70 WEST
GARNER, NORTH CAROLINA 27529
CONTACT/AGENT: DONNIE ADAMS, PE
919 763-7278

SITE INFORMATION
1. OWNER: WOODLEY C. WARRICK HEIRS
1804 OLD US HWY 70 W
CLAYTON, NC 27520
LINDA HARRIS WARRICK
1812 OLD US HWY 70 W
CLAYTON, NC 27520
2. DEVELOPER/APPLICANT: SAM'S BRANCH, LLC
216 U.S. HWY 70 WEST
GARNER, NC 27529
3. PARCEL #: 175000-30-5566
4. TAG #: 0500101H
5. TAX #: 4368815
6. TOTAL ACREAGE = 22.46 AC/ 978,414 SF
7. CURRENT ZONING: R-E
8. SITE IS LOCATED WITHIN THE TOWN OF CLAYTON E.T.J.
9. CURRENT USE: VACANT
10. PROPOSED USE: RESIDENTIAL SUBDIVISION
11. PROPOSED LOTS: 25, SINGLE FAMILY, DETACHED
12. DENSITY: 1.45 U/I AC SEE VARIANCE NOTE THIS SHEET
13. ELECTRIC PROVIDER: DUKE ENERGY PROGRESS
14. WATER PROVIDER: TOWN OF CLAYTON
15. SEWER PROVIDER: INDIVIDUAL SEPTIC SYSTEMS
16. THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEMA FLOOD MAP # 3720175000K DATED 05/02/2006
17. THE DEVELOPER WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED TREES WITHIN ANY LAND USE BUFFER.
18. MAXIMUM IMPERVIOUS AREA PER LOT: 30% (INCLUDING STREETS)

STREET YARD TREES
1. STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE PER LOT OR ONE CANOPY TREE FOR EVERY 40 LINEAR FT. (SPACE A MAXIMUM OF 50 FT. APART).
2. ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AT TIME OF PLANTING AND SHALL BE PLANTED IN THE TREE STRIP NO LESS THAN FIVE FT. OR MORE THAN 15 FT. FROM THE BACK OF THE SIDEWALK.
3. NUTTALL OAK, QUERCUS NUTTALLI, IS THE DESIGNATED STREET TREE



Town of Clayton
Planning Department
Date: 03/14/2017
By: [Signature]
Plan Approval
2016-163-SD
*phased as shown [Signature]

WARRICK TRACT DEVELOPMENT CHART

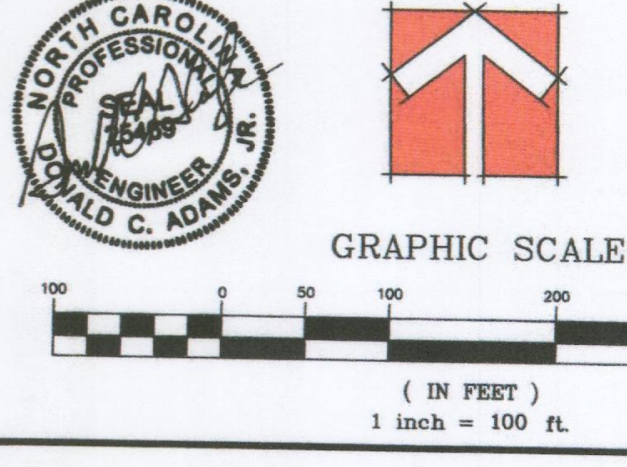
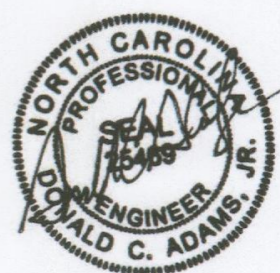
| PHASE | AREA OF PHASE | # OF LOTS | RIGHTS OF WAY | RESOURCE CONSERVATION AREAS | OPEN SPACE | IMPERVIOUS AREA | PERRIUS AREA | % OF OVERALL SITE | STATUS OF PHASE |
|---------------|---------------|-----------|---------------|-----------------------------|------------|-----------------|----------------|-------------------|------------------------|
| ORIGINAL SITE | 22.46 AC | 25 | 1.77 AC | 0 AC | 0 AC | 11.33 AC (50%) | 11.13 AC (50%) | 50.00% | SUBMITTED FOR APPROVAL |

WARRICK SUBDIVISION STANDARDS

| ZONING | UNIT TYPE | LOT STANDARDS | | | | | MINIMUM SETBACKS (FT) | | | | BUILDING STANDARDS | | | |
|--------|--|------------------------|---------------------------|-------------------------|-----------------------|-----------------------------|-----------------------|---------------|-------------|------|--------------------|----------------------------------|----|-------|
| | | Min. Site Area (acres) | Min. Parcel Size (sq.ft.) | Min. Lot Width (sq.ft.) | Max. Lot Coverage (%) | Max. Impervious Surface (%) | Front | Side Interior | Side Street | Rear | Max. Height (ft.) | Min. Dwelling Unit Size (sq.ft.) | | |
| R-E | SINGLE FAMILY WITH PUBLIC WATER AND SEPTIC | - | - | 25,000 | 80 | 35 | 50 | 1.45 | 35 | 15 | 25 | 30 | 35 | 1,400 |

NOT RELEASED FOR CONSTRUCTION

REVISED
8:58 am, Mar 14, 2017



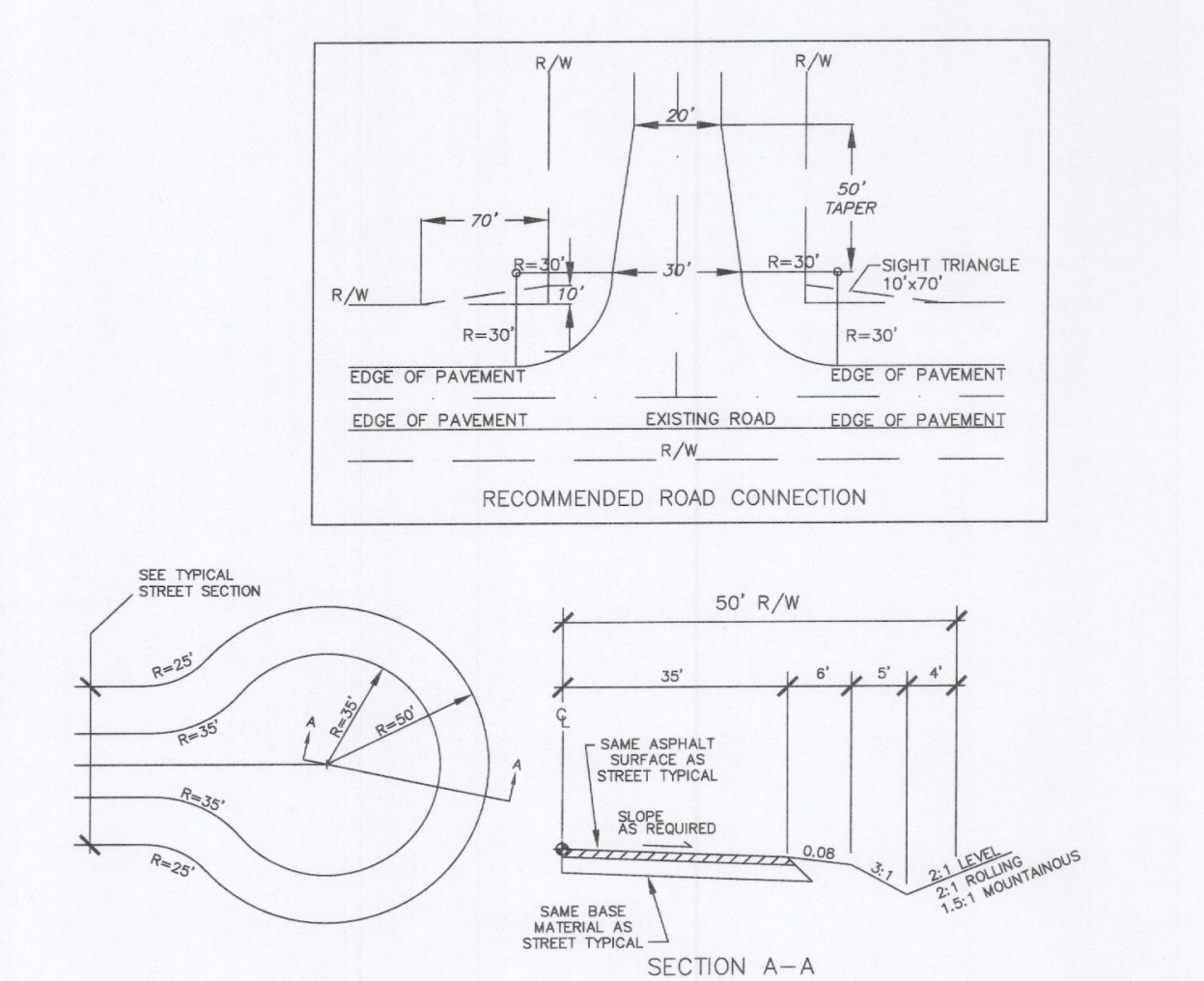
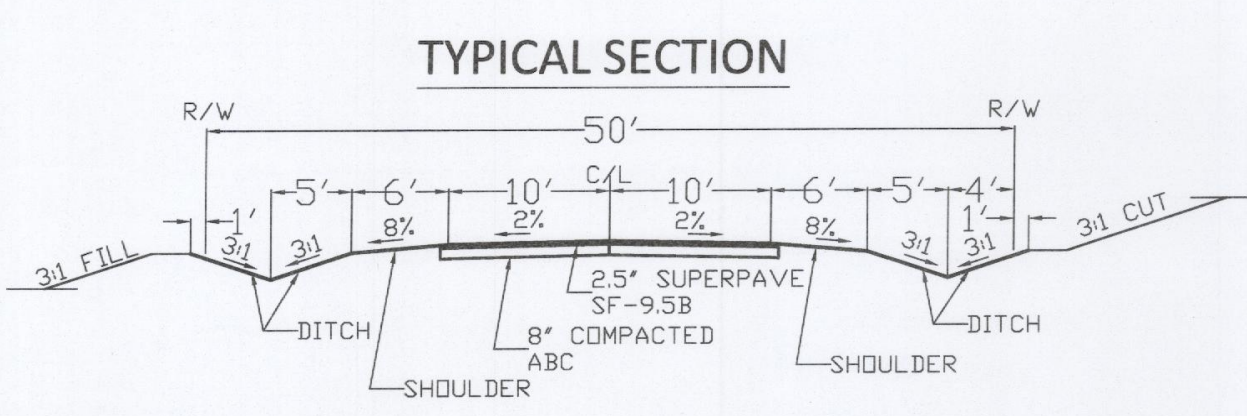
DESIGN: DCA/TMH
DRAWN: TMH
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 10/03/2016
JOB NO.: 44-
SHEET: SD01

ADAMS & HODGE ENGINEERING, PC

WARRICK TRACT
SAM'S BRANCH, LLC

SUBDIVISION PLAN

T.O.C. PROJECT: 2016-163-SDM

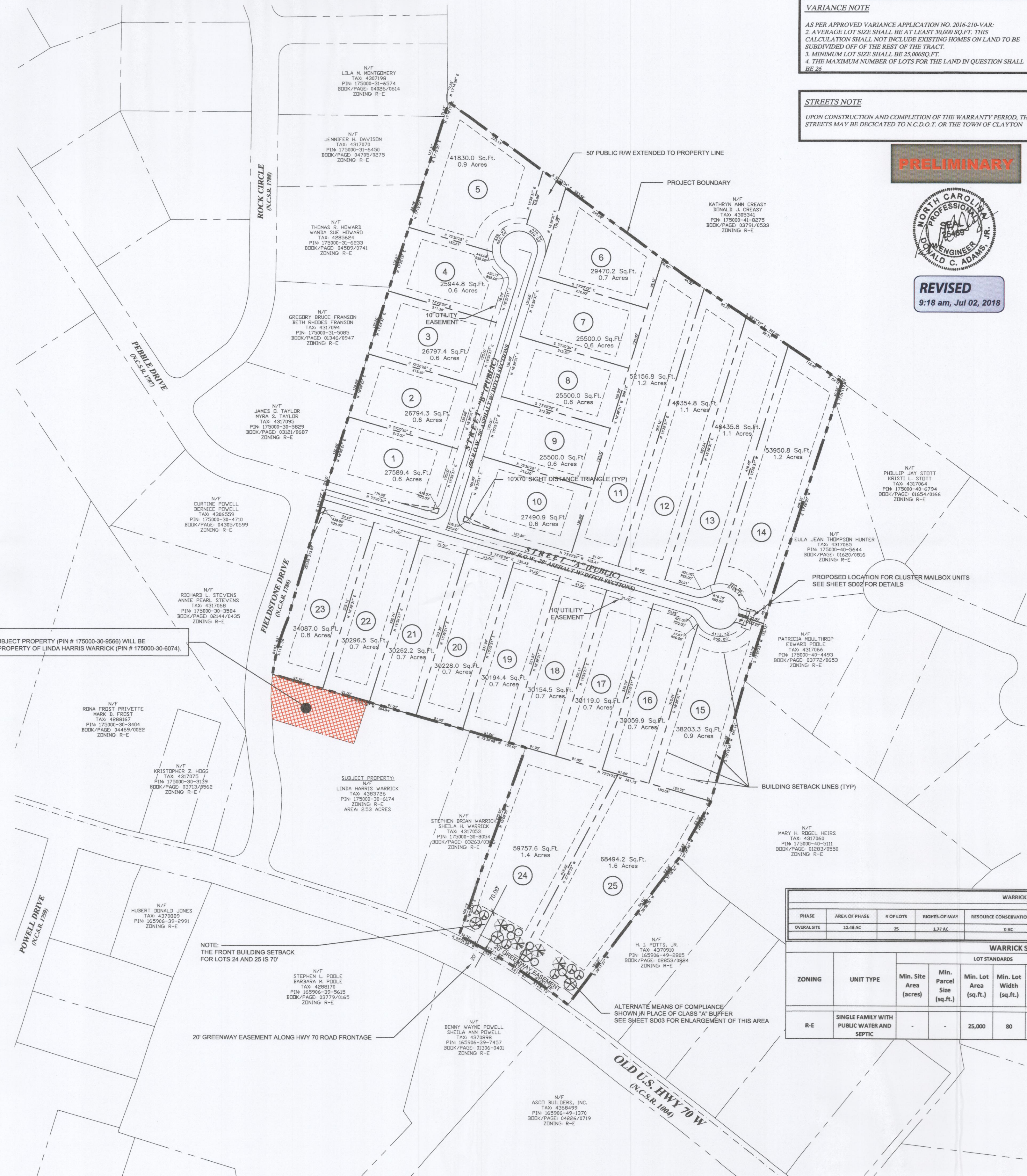


NCDOT TYPICAL SYMMETRICAL CULDESAC
NO SCALE

NOTES:
1. Sloper side slopes of 1.5:1 may be used in steep or hilly terrain.
2. Use outside fill (50% stone or 60% stone) when necessary to continue drainage around cul-de-sac in fill sections.
3. CONTRACTOR shall provide subgrade, base, and pavement toping on all areas in accordance with NCDOT Standards.
4. This detail is intended to meet or exceed the typical NCDOT cul-de-sac criteria (see NCDOT Subdivision Roads Min. Construction Standards 2000 version).

NOTE:
THIS PLAN HAS BEEN REVISED TO SHOW NO SIDEWALKS ALONG THE STREETS.

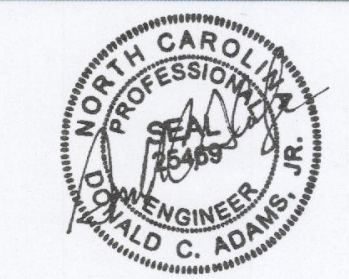
NOTE:
THIS PORTION OF THE SUBJECT PROPERTY (PIN # 175000-30-9566) WILL BE RECOMBINED WITH THE PROPERTY OF LINDA HARRIS WARRICK (PIN # 175000-30-6074).



VARIANCE NOTE
AS PER APPROVED VARIANCE APPLICATION NO. 2016-210-VAR:
2. AVERAGE LOT SIZE SHALL BE AT LEAST 30,000 SQ.FT. THIS CALCULATION SHALL NOT INCLUDE EXISTING HOMES ON LAND TO BE SUBDIVIDED OFF OF THE REST OF THE TRACT.
3. MINIMUM LOT SIZE SHALL BE 25,000 SQ.FT.
4. THE MAXIMUM NUMBER OF LOTS FOR THE LAND IN QUESTION SHALL BE 26.

STREETS NOTE
UPON CONSTRUCTION AND COMPLETION OF THE WARRANTY PERIOD, THE STREETS MAY BE DEDICATED TO N.C.D.O.T. OR THE TOWN OF CLAYTON

PRELIMINARY



REVISED
9:18 am, Jul 02, 2016

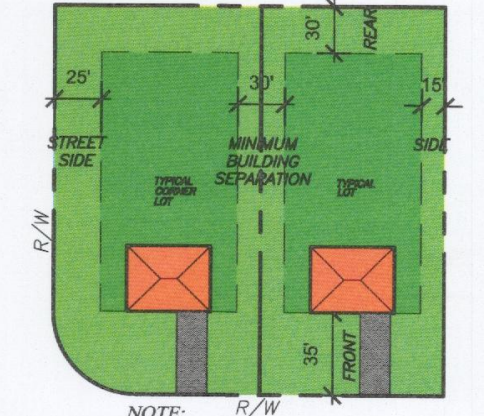
CALL 48 HOURS BEFORE YOU DIG
1-800-632-4949
NORTH CAROLINA ONE-CALL CENTER

DEVELOPER/APPLICANT:
SAM'S BRANCH, LLC
216 U.S. HWY 70 WEST
GARNER, NORTH CAROLINA 27529
CONTACT/AGENT: DONNIE ADAMS, PE
919 763-7278

- SITE INFORMATION**
- OWNER: WOODLEY C. WARRICK HEIRS
1804 OLD US HWY 70 W
CLAYTON, NC 27520
 - DEVELOPER/APPLICANT: SAM'S BRANCH, LLC
216 U.S. HWY 70 WEST
GARNER, NC 27529
 - PARCEL #: 175000-30-9566
 - TAG #: 05G01016H
 - TAX #: 4368813
 - TOTAL ACRES - 22.46 AC/ 978,414 SF
 - CURRENT ZONING: R-E
 - SITE IS LOCATED WITHIN THE TOWN OF CLAYTON E.T.J.
 - CURRENT USE: VACANT
 - PROPOSED USE: RESIDENTIAL SUBDIVISION
 - PROPOSED LOTS: 25 SINGLE FAMILY, DETACHED
 - DENSITY: 1.45 UAC SEE VARIANCE NOTE THIS SHEET
 - ELECTRIC PROVIDER: DUKE ENERGY PROGRESS
 - WATER PROVIDER: TOWN OF CLAYTON
 - SEWER PROVIDER: INDIVIDUAL SEPTIC SYSTEMS
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER FEMA FLOOD MAP # 3720175000K DATED 05/02/2006
 - THE DEVELOPER WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED TREES WITHIN ANY LAND USE BUFFER.
 - MAXIMUM IMPERVIOUS AREA PER LOT: 50% (INCLUDING STREETS)

- STREET YARD TREES**
- STREET YARD TREES SHALL BE REQUIRED ALONG ALL RIGHTS OF WAY AT THE RATE OF ONE CANOPY TREE PER LOT OR ONE CANOPY TREE FOR EVERY 40' LINEAR FT. (SPACE A MAXIMUM OF 50 FT. APART).
 - ALL STREET YARD TREES SHALL BE A MINIMUM OF TWO AND ONE-HALF CALIPER INCHES AT TIME OF PLANTING AND SHALL BE PLANTED IN THE TREE STRIP NO LESS THAN FIVE FT. OR MORE THAN 15 FT. FROM BEHIND THE RIGHT-OF-WAY.
 - NUTTALL OAK, QUERCUS NUTTALLII, IS THE DESIGNATED STREET TREE

- MINIMUM BUILDING SETBACKS**
FRONT - 15'
SIDE - 15'
REAR - 30'
STREET SIDE - 25'
- SETBACKS AS SHOWN ARE TYPICAL
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM IMPERVIOUS COVERAGE PER LOT - 50%
 - MAXIMUM LOT COVERAGE - 35%
 - MINIMUM LOT SIZE - 25,000 SF
 - MINIMUM DWELLING UNIT SIZE - 1,400 SF



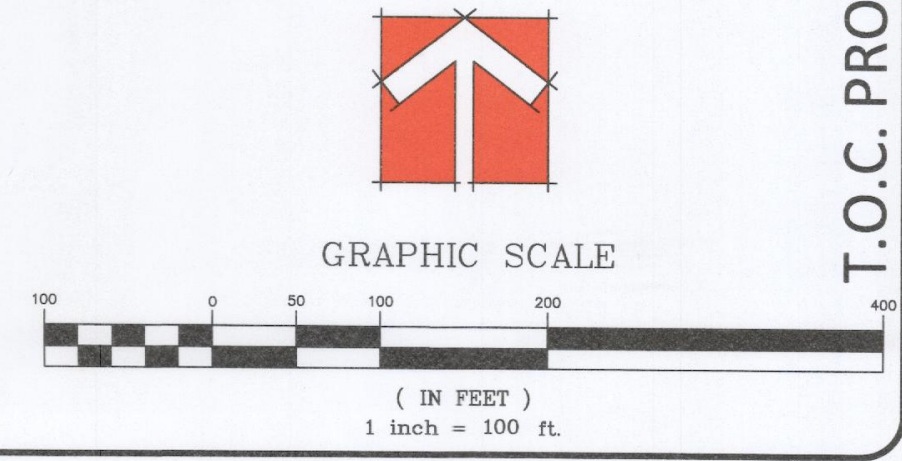
DIMENSIONAL INFORMATION FOR 1 LOTS

WARRICK TRACT DEVELOPMENT CHART

| PHASE | AREA OF PHASE | # OF LOTS | FEET OF WAY | RESOURCE CONSERVATION AREAS | OPEN SPACE | IMPERVIOUS AREA | PERVIOUS AREA | % OF OVERALL SITE | STATUS OF PHASE |
|--------------|---------------|-----------|-------------|-----------------------------|------------|-----------------|---------------|-------------------|------------------------|
| OVERALL SITE | 12.48 AC | 25 | 3.77 AC | 0 AC | 0 AC | 11.23 AC (90%) | 1.25 AC (10%) | 100.00% | SUBMITTED FOR APPROVAL |

WARRICK SUBDIVISION STANDARDS

| ZONING | UNIT TYPE | LOT STANDARDS | | | | | Density (dwelling units/acre) | MINIMUM SETBACKS (FT.) | | | | BUILDING STANDARDS | | |
|--------|--|------------------------|---------------------------|------------------------|-------------------------|-----------------------|-------------------------------|------------------------|---------------|-------------|------|--------------------|----------------------------------|-------|
| | | Min. Site Area (acres) | Min. Parcel Size (sq.ft.) | Min. Lot Area (sq.ft.) | Min. Lot Width (sq.ft.) | Max. Lot Coverage (%) | | Front | Side Interior | Side Street | Rear | Max. Height (ft.) | Min. Dwelling Unit Size (sq.ft.) | |
| R-E | SINGLE FAMILY WITH PUBLIC WATER AND SEPTIC | - | - | 25,000 | 80 | 35 | 50 | 1.45 | 35 | 15 | 25 | 30 | 35 | 1,400 |



T.O.C. PROJECT: 2016-163-SDM

314 East Main Street
Clayton, NC 27520
donna@adamsandhodge.com
FIRM # C-1187

ADAMS & HODGE
ENGINEERING, PC

WARRICK TRACT
SAM'S BRANCH, LLC

SUBDIVISION PLAN

DESIGN: DCA/TMH
DRAWN: TMH
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 10/03/2016
JOB NO.: 163-SDM
SHEET: SD01-R